

Town of Lawrence, Regular Town Board Meeting
Town Hall 2400 Shady Court, De Pere WI 54115
Monday, September 22, 2025, at 6:00 P.M.

Discussion and Action on the following:

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Approve Agenda
5. Public Comments upon matters not on agenda or other announcements
6. Consider minutes of September 8, 2025 Town Board Meeting.
7. Consideration of payment of due invoices
8. Review of Recommendations and Reports from Planning & Zoning Board:
 - a. Consideration of Site Plan Review for Commercial Addition at 3547 French Road on Parcel L-90 by Bayland Buildings Inc. for 4Rent LLC.
 - b. Consideration of 2 Lot Certified Survey Map (CSM) on Parcel L-451-4 by McMahon Associates for Thomas Perock.
 - c. Consideration of Rock Ridge Preliminary Plat Review for single-family & two-family residential lots on Portions of Parcels L-452-5 & L-451-4 by McMahon Associates for Thomas Perock and Town of Lawrence.
 - d. Consideration to set a Public Hearing date for Zoning Amendment request from A-1 to R-1 & R-2 on Portions of Parcels L-452-5 & L-451-4 as presented on the Preliminary Rock Ridge Subdivision Plat by McMahon Associates for Thomas Perock and Town of Lawrence.
 - e. Consideration to set a Public Hearing date for Conditional Use Permit (CUP) request for a dwelling residence on property zoned Business/Commercial at 3051 Williams Grant Drive, Parcel L-40-3 by John Schroeder.
 - f. Consideration to set a Public Hearing date for Zoning Amendment request from B-1 to Limited Industrial at 2272 Mid Valley Rd, Parcel L-424-3 by Matthew Verboort for 41/12 LLC.
 - g. Consideration to set a Public Hearing date for Conditional Use Permit (CUP) request for Sports Training Facility on property zoned Business/Commercial, Parcel L-452-4 by SVR Properties for Town of Lawrence.
 - h. Consideration to set a Public Hearing date for Ordinance Amendment of Town Ordinance 300-13 Limited Industrial Permitted Uses.
9. Consideration to Award Bid for TID #3 Deep Sanitary Sewer Infrastructure -Beno/Lawrence Grove
10. Consideration of Pay Request #10 – Mid Valley Drive Utility Relocation- PTS Contractors- \$103,266.08
11. Consideration of Pay Request #3 – 2025 Town Road Improvement Projects – MCC, Inc. - \$1,635.43.
12. Update on Sand Acres Reconstruction Planning - (*Public Info Meeting 4:30p on Sept 22nd*)
13. Consideration of Employee Benefit/Insurance Changes for 2026
14. Administrator/Staff Reports
15. Future Agenda Items
16. **Closed Session:** Pursuant to Ch. 19.85(1)(e) Deliberation or negotiation for the purchase of public properties, the investment of public funds, or the conduct of other specific public business, whenever competitive or bargaining reasons require a closed session (*re: Emergency Services Agreement and New Subdivision Development negotiations*) and **Closed Session:** Pursuant to Ch. 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved (*Multiple cases*)
17. Return to Regular Open Session for possible action pursuant to Ch. 19.85 (2) of Wisconsin Stats
18. Adjourn

Patrick Wetzel for Dr. Lanny J. Tibaldo

Posted at the following on September 19, 2025:

- ☒ Town Hall, 2400 Shady Ct; Posted to the Town Website;
- ☒ Notice to News Media

NOTE: Any person wishing to attend this meeting who, because of disability requires special accommodations, should contact Town Clerk-Treasurer Cindy Kocken, at 920-347-3719 at least 2 business days in advance so that arrangements can be made.

Town of Lawrence
Proceedings of the Regular Town Board Meeting
Town Hall, 2400 Shady Court, De Pere WI
Monday, September 8, 2025

1. Call to Order

The meeting was called to order by Chairman Tibaldo at 6:03 p.m.

2. Roll Call

Present In-Person

Chairman: Dr. Lanny Tibaldo

Supervisors: Lori Frigo, Kevin Brienens, Kari Vannieuwenhoven, Bill Bain

Others in Attendance: Patrick Wetzel, Administrator; Cindy Kocken, Clerk-Treasurer; Scott Beining, Building Inspector/Zoning Administrator; Kurt Minten, Public Works Director; Michael Renkas, Police Chief; Matt Greely, Town Engineer; Luke Pasterski, Fire Chief

3. Pledge of Allegiance

4. Approve Agenda

Supervisor Brienens made the motion to approve the agenda as presented. Supervisor Vannieuwenhoven seconded the motion. The motion carried unanimously.

5. Public Comments upon matters not on agenda or other announcements:

None.

6. Consideration of minutes of August 25, 2025 Town Board Meeting:

Supervisor Frigo made the motion to approve the minutes of the Town Board meeting on August 25, 2025 as presented. Supervisor Vannieuwenhoven seconded the motion. The motion carried unanimously.

7. Consideration of payment of due invoices:

Supervisor Bain made the motion to approve the payment of due invoices as presented. Supervisor Brienens seconded the motion. The motion carried unanimously.

8. Consideration of Resolution #2025-012 Regarding Intergovernmental Cooperative Agreement for WI Recycling Consolidation Grant for Calendar Year 2026:

Supervisor Brienens made the motion to approve the Resolution #2025-012 regarding Intergovernmental Cooperative Agreement for WI Recycling Consolidation Grant for Calendar Year 2026 as presented. Supervisor Frigo seconded the motion. Roll call vote: Supervisor Frigo, aye; Supervisor Brienens, aye; Supervisor Vannieuwenhoven, aye; Supervisor Bain, aye, Chairman Tibaldo, aye. The motion carried unanimously.

9. Consideration of Pay Request #4 – Rhode Brothers, Inc. – Connection Station LE-2 Improvements - \$69,629.00:

Supervisor Bain made the motion to approve Pay #4 for Rhode Brothers, Inc. – Connection Station LE-2 Improvements in the amount of \$69,629.00 as presented. Supervisor Vannieuwenhoven seconded the motion. The motion carried unanimously.

10. Consideration of Proposal for Pre-Demolition Inspection – Structure on Town Property – L-386-1:

Supervisor Bain made the motion to approve the proposal for pre-demolition inspection for structure on Town property, parcel number L-386-1 as presented. Supervisor Frigo seconded the motion. The motion carried unanimously.

- 11. Discussion and Review of Sand Acres Reconstruction Options & Scheduling Public Info Session:**
Administrator, Patrick Wetzel and Town Engineer, Matt Greely discussed the options to reconstruct Sand Acres. The intention is to hold an open house meeting with town residents to discuss the options and gather input from the public.
Fire Chief, Luke Pasterski arrived; 6:33pm.
- 12. Update on Amendment to Town Tax Incremental District #3 / Debt Refinancing:**
Administrator, Patrick Wetzel discussed the amendment to the Tax Incremental District #3 which also changes the financing needs. Also discussed was anticipated restructuring of the debt. Timelines to amend the TID were reviewed. Bid opening is Wednesday, September 10th for the deep sewer.
- 13. Administrator/Staff Reports**
Staff reports were given.
- 14. Future Agenda Items**
a. Recommendation to award the bid for deep sewer.
- 15. Closed Session:** Supervisor Frigo made the motion to go into closed session at 7:09 p.m. Pursuant to Ch. 19.85(1)(e) Deliberation or negotiation for the purchase of public properties, the investment of public funds, or the conduct of other specific public business, whenever competitive or bargaining reasons require a closed session (*re: Emergency Services Agreement and New Subdivision Development negotiations*). Supervisor Vannieuwenhoven seconded the motion. Roll call vote: Supervisor Frigo, aye; Supervisor Brienens, aye; Supervisor Vannieuwenhoven, aye; Supervisor Bain, aye, Chairman Tibaldo, aye. The motion carried unanimously.
- 16. Return to Regular Open Session for possible action pursuant to Ch. 19.85 (2) of Wisconsin Stats:**
Supervisor Frigo made the motion to return to regular session at 7:54 p.m. for possible action pursuant to Ch. 19.85 (2) of Wisconsin Stats. Supervisor Vannieuwenhoven seconded the motion. The motion carried unanimously.
- 17. Adjourn:**
Supervisor Frigo made the motion at 7:54 p.m. to adjourn the meeting. Supervisor Vannieuwenhoven seconded the motion. The motion carried unanimously.

Respectfully submitted by,
Cindy Kocken, Clerk-Treasurer

Report Criteria:

Detail report.
Invoices with totals above \$.00 included.
Paid and unpaid invoices included.

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	Voided
ACS VanVonderen LLC								
1252	ACS VanVonderen LLC	1218	Brushmowing - Town Lot	09/04/2025	250.00	.00		
Total ACS VanVonderen LLC:					250.00	.00		
AIT Business Technologies, LLC								
869	AIT Business Technologies, LLC	61142	IT Services	08/31/2025	1,382.20	.00		
Total AIT Business Technologies, LLC:					1,382.20	.00		
Ambrosius Sales & Service								
22	Ambrosius Sales & Service	78899	Lawn Mower Repair	09/04/2025	19.90	.00		
Total Ambrosius Sales & Service:					19.90	.00		
Apple Valley Landscaping, LLC								
1082	Apple Valley Landscaping, LLC	2995	Parkway South Pond	09/02/2025	1,000.00	.00		
1082	Apple Valley Landscaping, LLC	2996	Derouin Pond	09/02/2025	1,050.00	.00		
1082	Apple Valley Landscaping, LLC	2997	Hemlock East Pond	09/02/2025	680.00	.00		
1082	Apple Valley Landscaping, LLC	2998	Carpenter Crossing Pond	09/02/2025	1,300.00	.00		
1082	Apple Valley Landscaping, LLC	2999	American Drive Pond	09/02/2025	1,050.00	.00		
Total Apple Valley Landscaping, LLC:					5,080.00	.00		
BE's Refreshments Inc.								
1157	BE's Refreshments Inc.	120970	Water Town Hall	09/05/2025	19.00	.00		
Total BE's Refreshments Inc.:					19.00	.00		
Brown County Port & Resource Recovery								
73	Brown County Port & Resource R	61698	Trash Collection - Sharps	08/31/2025	8,215.51	.00		
73	Brown County Port & Resource R	61698	Recycling	08/31/2025	1,148.73	.00		
Total Brown County Port & Resource Recovery:					9,364.24	.00		
Central Brown County Water Authority								
93	Central Brown County Water Auth	3606	August Water Billing	09/05/2025	42,740.45	.00		
Total Central Brown County Water Authority:					42,740.45	.00		
Charter Communications								
1150	Charter Communications	230431701090	September Fiber Services	09/01/2025	719.00	.00		
Total Charter Communications:					719.00	.00		
CRI DEVELOPMENT								
997	CRI DEVELOPMENT	25-04-0032	Contractor Deposit Refund-2199 L	09/08/2025	1,000.00	.00		
Total CRI DEVELOPMENT:					1,000.00	.00		
Fameree Consulting & Inspection								
154	Fameree Consulting & Inspection	33731	Electrical Inspection-VerHalen & P	09/12/2025	497.40	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	Voided
Total Fameree Consulting & Inspection:					497.40	.00		
Green Bay Metropolitan Sewage District								
192	Green Bay Metropolitan Sewage	3484	Services for August	09/11/2025	60,012.67	.00		
Total Green Bay Metropolitan Sewage District:					60,012.67	.00		
Hongisto, Melissa								
1143	Hongisto, Melissa	091225	Mileage Reimbursement	09/12/2025	186.06	.00		
Total Hongisto, Melissa:					186.06	.00		
J&S Concrete Services LLC								
1253	J&S Concrete Services LLC	2589	Concrete Repair-Water Break	09/18/2025	5,986.00	.00		
1253	J&S Concrete Services LLC	2589	Little Rapids Subdivision-CBU mai	09/18/2025	1,952.00	.00		
Total J&S Concrete Services LLC:					7,938.00	.00		
Jim's Johns, Inc.								
233	Jim's Johns, Inc.	20884	Park Portable Restroom	08/31/2025	314.00	.00		
Total Jim's Johns, Inc.:					314.00	.00		
McMahon Associates, Inc.								
285	McMahon Associates, Inc.	00940228	Lawrence Parkway Wetland Revie	08/25/2025	789.26	.00		
285	McMahon Associates, Inc.	00940229	Scheuring Rd Urbanization	08/25/2025	12,725.75	.00		
285	McMahon Associates, Inc.	00940230	Little Rapids Subdivision	08/25/2025	835.19	.00		
285	McMahon Associates, Inc.	00940231	Quarry Park Dr Culverts	08/25/2025	642.21	.00		
285	McMahon Associates, Inc.	00940232	Torchwood Extension	08/25/2025	450.00	.00		
285	McMahon Associates, Inc.	00940301	Storm Pond Services	08/27/2025	6,954.82	.00		
285	McMahon Associates, Inc.	00940337	Rock Ridge Subdivision	08/28/2025	21,567.46	.00		
Total McMahon Associates, Inc.:					43,964.69	.00		
Menards Inc								
286	Menards Inc	51726	Public Works Repairs	09/03/2025	24.94	.00		
286	Menards Inc	51777	Public Works Repairs	09/04/2025	15.98-	.00		
286	Menards Inc	51778	Public Works Repairs	09/04/2025	50.97	.00		
286	Menards Inc	51778	Conference Room TV Mount	09/04/2025	69.99	.00		
286	Menards Inc	51822	Conference Room TV Mount	09/05/2025	69.99-	.00		
286	Menards Inc	52230	Signs	09/16/2025	27.93	.00		
Total Menards Inc:					87.86	.00		
Paul Collette Construction								
591	Paul Collette Construction	25-03-0025	Contractor Deposit Refund-1179 A	09/10/2025	1,000.00	.00		
Total Paul Collette Construction:					1,000.00	.00		
PJ Kortens Company, Inc.								
332	PJ Kortens Company, Inc.	10025719	Annual Service	09/12/2025	606.25	.00		
332	PJ Kortens Company, Inc.	10025719	Annual Service	09/12/2025	606.25	.00		
Total PJ Kortens Company, Inc.:					1,212.50	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	Voided
R & R Insurance Services, Inc								
1099	R & R Insurance Services, Inc	3271451	Insurance Services	09/02/2025	242.00	.00		
Total R & R Insurance Services, Inc:					242.00	.00		
R. Lewis Technologies, Inc								
815	R. Lewis Technologies, Inc	15450	DPW Vehicle Supplies	08/27/2025	14.00	.00		
Total R. Lewis Technologies, Inc:					14.00	.00		
Rohde Brothers Inc								
1232	Rohde Brothers Inc	L0017-09-24-0	Pay Request #4 - LE-2	08/19/2025	69,629.00	69,629.00	09/09/2025	
Total Rohde Brothers Inc:					69,629.00	69,629.00		
Southside Tire Co.								
388	Southside Tire Co.	10325458	Truck #5	09/10/2025	125.95	.00		
388	Southside Tire Co.	10325489	Truck #11	09/12/2025	87.95	.00		
Total Southside Tire Co.:					213.90	.00		
Suburban Wildlife Solutions LLC								
397	Suburban Wildlife Solutions LLC	7341	Muskrat Trapping	08/31/2025	350.00	.00		
Total Suburban Wildlife Solutions LLC:					350.00	.00		
Tri-City Glass & Door								
428	Tri-City Glass & Door	I04010863	Town Hall Entrance Door Repair	09/05/2025	756.80	.00		
Total Tri-City Glass & Door:					756.80	.00		
Truck Equipment Inc.								
429	Truck Equipment Inc.	1165063-00	Truck #F4	09/15/2025	16.16	.00		
Total Truck Equipment Inc.:					16.16	.00		
Village of Hobart								
450	Village of Hobart	08312025	Crime Prevention Expense	09/05/2025	16.67	.00		
450	Village of Hobart	08312025	Court Clerk Payroll Tax	09/05/2025	106.39	.00		
450	Village of Hobart	08312025	Health, Dental, Life, Wrk comp	09/05/2025	6,551.94	.00		
450	Village of Hobart	08312025	Law & Ordinance Violations	09/05/2025	1,419.77-	.00		
450	Village of Hobart	08312025	Court Seminars/Conference/Educ	09/05/2025	217.75	.00		
450	Village of Hobart	08312025	Police Fuel Expenses	09/05/2025	1,441.72	.00		
450	Village of Hobart	08312025	Police Supplies	09/05/2025	246.45	.00		
450	Village of Hobart	08312025	Police/Admin Salaries	09/05/2025	33,869.49	.00		
450	Village of Hobart	08312025	Judge Salary	09/05/2025	261.11	.00		
450	Village of Hobart	08312025	Background Checks	09/05/2025	7.00	.00		
450	Village of Hobart	08312025	Court Clerk Retirement	09/05/2025	77.94	.00		
450	Village of Hobart	08312025	Court Clerk Wages	09/05/2025	1,129.63	.00		
450	Village of Hobart	08312025	Blood Draws	09/05/2025	25.13-	.00		
450	Village of Hobart	08312025	Telephone/Cell/Radios	09/05/2025	1,592.40	.00		
450	Village of Hobart	08312025	Municipal Attorney	09/05/2025	720.74	.00		
450	Village of Hobart	08312025	Police/Adm Payroll Taxes	09/05/2025	2,561.18	.00		
450	Village of Hobart	08312025	Police Vehicle Lease	09/05/2025	3,753.01	.00		
450	Village of Hobart	08312025	Police Vehicle Maintenance	09/05/2025	251.19	.00		
450	Village of Hobart	08312025	Police Retirement Expense	09/05/2025	4,517.46	.00		
450	Village of Hobart	08312025	Court Supplies	09/05/2025	301.97	.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	Voided
450	Village of Hobart	08312025	Court Health/Dental/Life/WC	09/05/2025	2.33	.00		
450	Village of Hobart	08312025	Police Uniforms	09/05/2025	160.70	.00		
Total Village of Hobart:					56,342.17	.00		
Wil-Kil Pest Control								
801	Wil-Kil Pest Control	82801235	Services 2400 Shady Ct	09/12/2025	67.38	.00		
801	Wil-Kil Pest Control	82801236	Services 2400 Shady Ct	09/12/2025	147.45	.00		
801	Wil-Kil Pest Control	82801237	Services 1780 Crimson Ct	09/04/2025	79.50	.00		
801	Wil-Kil Pest Control	82801238	Services 1625 Quarry Park Dr	09/04/2025	79.50	.00		
801	Wil-Kil Pest Control	82801766	Services 2595 French Rd	09/12/2025	106.00	.00		
Total Wil-Kil Pest Control:					479.83	.00		
Wisconsin Public Service								
1138	Wisconsin Public Service	090525	PWSU - Grant Street Service Add	09/05/2025	55.18	.00		
Total Wisconsin Public Service:					55.18	.00		
Grand Totals:					303,887.01	69,629.00		

Dated: _____

Town Chairman: _____

Town Supervisor: _____

Clerk/Treasurer: _____

Report Criteria:

Detail report.

Invoices with totals above \$.00 included.

Paid and unpaid invoices included.



Agenda Item Review

Meeting Date: 9/22/25

Agenda Item#: 8

TOWN OF LAWRENCE BOARD MEETING STAFF REPORT

REPORT TO: Town Board of Supervisors
REPORT FROM: Scott Beining, Building Inspector/Zoning Administrator
AGENDA ITEM: **Staff Report-Scott-Planning/Zoning items**

- a. Consideration of Site Plan Review for Commercial Addition at 3547 French Road on Parcel L-90 by Bayland Buildings Inc. for 4Rent LLC.

Tech 4 currently exists on 2.4 acres, zoned Limited Industrial. The buildings and property have been in place and operating as is since late 1990's with no recorded issues. SWMP will need to be reviewed. Electrical and lighting for the site is TBD so any recommendation for approval will be contingent of a lighting and storm water plan. There is no municipal S/W in the area. Building area is restricted and includes 3 hour firewalls. Parking lot will be expanded and improved. PZ voted unanimously on 9/10/25 to recommend approval pending SWMP review and lighting plan. Staff recommends approval.

- b. Consideration of 2 Lot Certified Survey Map (CSM) on Parcel L-451-4 by McMahon Associates for Thomas Perock.

This CSM splits one 36 acre parcel into 2 lots for commercial development along French Rd (14.7 acre parcel), and residential development with the Rock Ridge Plat (remaining 21.4 acres). PZ voted unanimously 9/10/25 to recommend approval of the Preliminary Plat. Staff recommends approval.

- c. Consideration of Rock Ridge Preliminary Plat Review for single-family & two-family residential lots on Portions of Parcels L-452-5 & L-451-4 by McMahon Associates for Thomas Perock and Town of Lawrence.

Rock Ridge Plat creates residential development on Lot 2 of the Perock property (above CSM) and Town owned parcel L-452-5. These lots will meet the standards of sewer residential lots (12,000sf min and 100' min frontage). The collaboration between owners will be discussed. New lots will be split along property lines. PZ voted unanimously 9/10/25 to recommend approval of the Preliminary Plat. Staff recommends approval.

- d. Consideration to set a Public Hearing date for Zoning Amendment request from A-1 to R-1 & R-2 on Portions of Parcels L-452-5 & L-451-4 as presented on the Preliminary Rock Ridge Subdivision Plat by McMahon Associates for Thomas Perock and Town of Lawrence.

Lots will meet standards of R-1 and R-2 lots. Set public hearing for 10/13/25.

- e. Consideration to set a Public Hearing date for Conditional Use Permit (CUP) request for a dwelling residence on property zoned Business/Commercial at 3051 Williams Grant Drive, Parcel L-40-3 by John Schroeder.

CUP requested for SF Home on same parcel as existing business. Set public hearing for 10/13/25.

- f. Consideration to set a Public Hearing date for Zoning Amendment request from B-1 to Limited Industrial at 2272 Mid Valley Rd, Parcel L-424-3 by Matthew Verboort for 41/12 LLC.

Rezoning request as condition of sale. Set public hearing for 10/13/25.

- g. Consideration to set a Public Hearing date for Conditional Use Permit (CUP) request for Sports Training Facility on property zoned Business/Commercial, Parcel L-452-4 by SVR Properties for Town of Lawrence.

CUP request consistent with other sports related facilities in corridor. Set public hearing for 10/13/25.

- h. Consideration to set a Public Hearing date for Ordinance Amendment of Town Ordinance 300-13 Limited Industrial Permitted Uses.

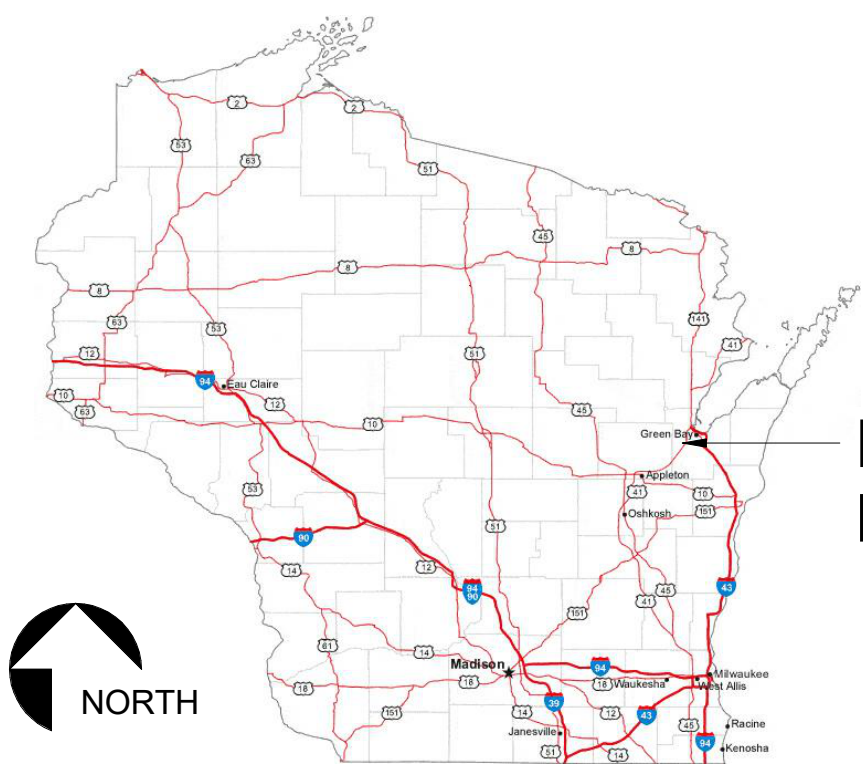
See proposed draft ordinance language. Set public hearing for 10/13/25.

PROPOSED BUILDING ADDITION FOR:

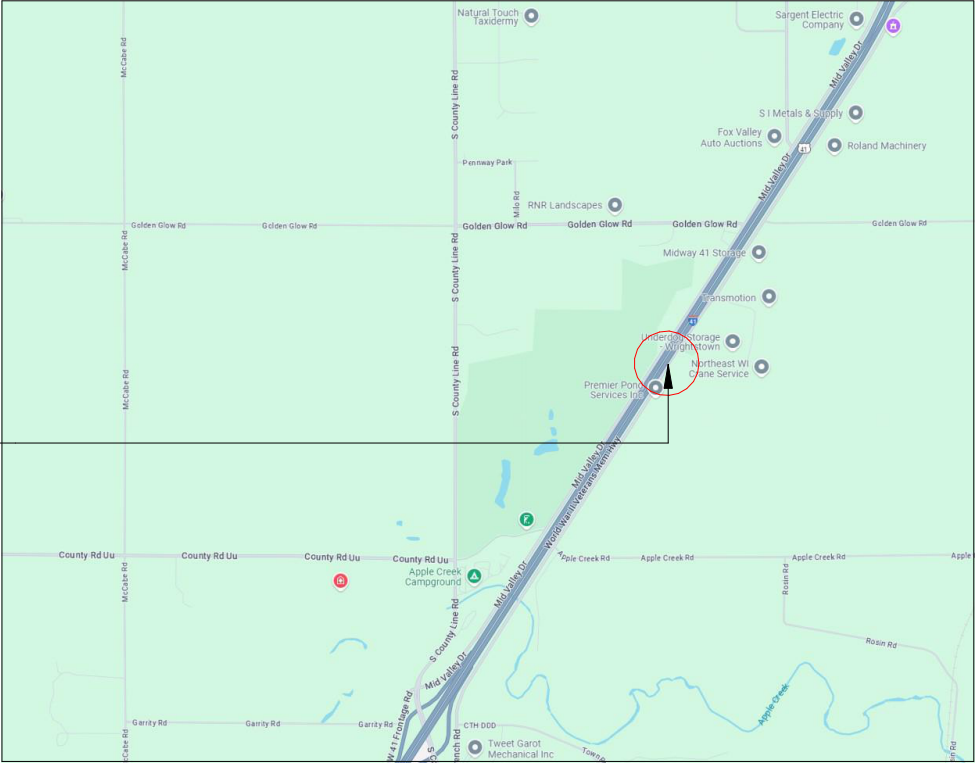
TECH #4 LLC

DE PERE, WISCONSIN

PROJECT LOCATION MAP



ENLARGED MAP



BAYLAND

BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROJECT PERSPECTIVE (NTS)

- FOR CONCEPTUAL PROPOSES ONLY!
REFERENCE FLOOR PLANS, ELEVATIONS, SECTIONS, ETC. FOR MORE INFORMATION



SHEET INDEX

NUMBER	SHEET NAME / DESCRIPTION	LATEST SHEET REVISION		
		DATE	ISSUED BY	NUMBER
001 TITLE				
T1.0	TITLE SHEET			
002 CIVIL				
C1.0	SITE PLAN			
003 LIFE SAFETY				
LS1.0	LIFE SAFETY PLAN			
004 ARCHITECTURAL				
A0.1	PLAN NOTES & RATED ASSEMBLIES			
A0.2	PLAN NOTES			
A1.0	LEVEL 001 FLOOR PLAN - OVERALL			
A1.1	LEVEL 002 FLOOR PLAN - OVERALL			
A1.2	DIMENSION PLANS - OVERALL			
A1.3	DIMENSION PLANS - ENLARGED			
A2.0	ELEVATION - EXTERIOR			
A3.0	SECTIONS - BUILDING			
A3.1	SECTIONS - BUILDING			
A3.2	SECTIONS - BUILDING			
A4.0	SECTIONS - WALL / DETAILS			
A4.1	SECTIONS - WALL / DETAILS			
A5.0	SECTIONS - STAIRS			
A5.1	SECTIONS - ELEVATOR			
A6.0	SCHEDULES - DOOR / WINDOW			
A6.1	ROOM FINISH PLAN - PROPOSED			
A6.2	REFLECTED CEILING PLAN - PROPOSED			
A7.0	ROOF PLAN - PROPOSED			
005 STRUCTURAL				
S0.1	STRUCTURAL DESIGN CRITERIA			
S1.0	FOUNDATION PLAN - OVERALL			
S1.1	FOUNDATION PLAN - ENLARGED			
S1.2	ANCHOR BOLT PLAN			
S1.3	ANCHOR BOLT DETAILS			
S2.0	FOUNDATION SCHEDULES & DETAILS			
S2.1	FOUNDATION DETAILS			
S2.2	FOUNDATION WALL DETAILS			
S2.3	DOCK DETAILS			
S3.0	FRAMING PLAN - 2ND FLOOR			
S3.1	FRAMING PLANS - MASONRY			
S4.0	STRUCTURAL STEEL DETAILS			
S4.1	STRUCTURAL STEEL CONNECTIONS			
S4.2	STRUCTURAL MASONRY DETAILS			
S4.3	STRUCTURAL MASONRY DETAILS			
S4.4	STRUCTURAL METAL STUD DETAILS			

PROJECT INFORMATION

OWNER INFORMATION:

OWNER
ADDRESS
CITY, STATE ZIP
CONTACT:
TENANT:
DIS NO:

ARCHITECTURAL DATA:
BUILDING CODES:
IBC 2015
WECBC SPS 361-366
IEBC 2015
SCOPE OF WORK: ADDITION
BUILDING USE: MANUF. & OFFICE

FIRE PROTECTION SYSTEM:
BUILDING IS NOT PROTECTED BY AN AUTOMATIC
FIRE SPRINKLER

FIRE & SMOKE PROTECTION FEATURES:
ALLOWABLE AREA DETERMINED BY IBC 508.4 FIRE
BARRIER USED TO SEPARATE OCCUPANCIES

ALLOWABLE AREA DETERMINED BY IBC 706.1 FIRE
WALL USED TO CREATE SEPARATE BUILDINGS

BUILDING AREA:
FIRST FLOOR (EXISTING)
OCCUPANCY: F-1 AREAS
FIRST FLOOR (ADDITION)
OCCUPANCY: F-1 AREAS
FIRST FLOOR (ADDITION)
OCCUPANCY: B AREAS
SECOND FLOOR (ADDITION)
OCCUPANCY: B AREAS

TOTAL BUILDING AREA

OCCUPANT LOAD TABULATED
FIRST FLOOR (EXISTING)
OCCUPANCY: F-1
FIRST FLOOR ADDITION
OCCUPANCY: F-1
FIRST FLOOR ADDITION
OCCUPANCY: B
SECOND FLOOR ADDITION
OCCUPANCY: B

TOTAL OCCUPANT LOAD

PROJECT LOCATION:

ADDRESS
SUITE:
CITY, STATE ZIP
MUNICIPALITY
COUNTY

OCCUPANCY GROUP:
BUSINESS GROUP: B
FACTORY GROUP: F-1 (MODERATE HAZARD)

CONSTRUCTION TYPE:
EXISTING BUILDING: VB, COMBUSTBLE, UNPROTECTED
NEW BUILDING: IB, NONCOMBUSTIBLE, UNPROTECTED

PROPOSED BUILDING ADDITION FOR:

TECH #4 LLC

DE PERE, WISCONSIN; COUNTY OF:
BROWN

SCALE VERIFICATION

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COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER:

25-6139

PROJECT
EXECUTIVE:

NICK VANLANEN

DRAWN BY:

DV - JRG

DATE:

07/17/2025

SYMBOLS LEGEND

DETAIL NUMBER

AREA INCLUDED
IN DETAIL

1
A1.0

SHEET NUMBER ON
WHICH DETAIL IS
LOCATED

CALLOUT/DETAIL
REFERENCE

ITEM OR OBJECT
BEING DEFINED

FLOOR LINE
100'-0"

ELEVATION

ELEVATION MARKER

DETAIL NUMBER

1/A1.0 VIEW NAME 1/8" = 1'-0"

SHEET ON WHICH
DETAIL IS LOCATED

DRAWING/DETAIL
IDENTIFICATION

GRAPHICALLY OUTLINES
CHANGES

CLASSIFIES WHICH
SEQUENCE THE
CHANGES BELONG
TO (ISSUE DATES
ARE LISTED ON
SHEET BOARDERS &
SHEET INDEX)

REVISION CLOUD

ELEVATION NUMBER

DIRECTION OF VIEW

SHEET NUMBER OF
ELEVATION

INTERIOR ELEVATION
REFERENCE

DIRECTION OF CUT

DETAIL NUMBER

1
A1.0

2

SHEET NUMBER ON
WHICH DETAIL IS
LOCATED

SECTION/DETAIL
REFERENCE

ISSUED FOR:

CHECKED
BY:

DATE:

☐ PRELIMINARY

☐ BID SET

☒ DESIGN REVIEW

☐ CHECKSET

☐ CONSTRUCTION

TITLE SHEET

T1.0

8/7/2025 8:08:47 AM

PROPOSED BUILDING ADDITION FOR:

TECH #4 LLC

DE PERE, WISCONSIN; COUNTY OF: BROWN

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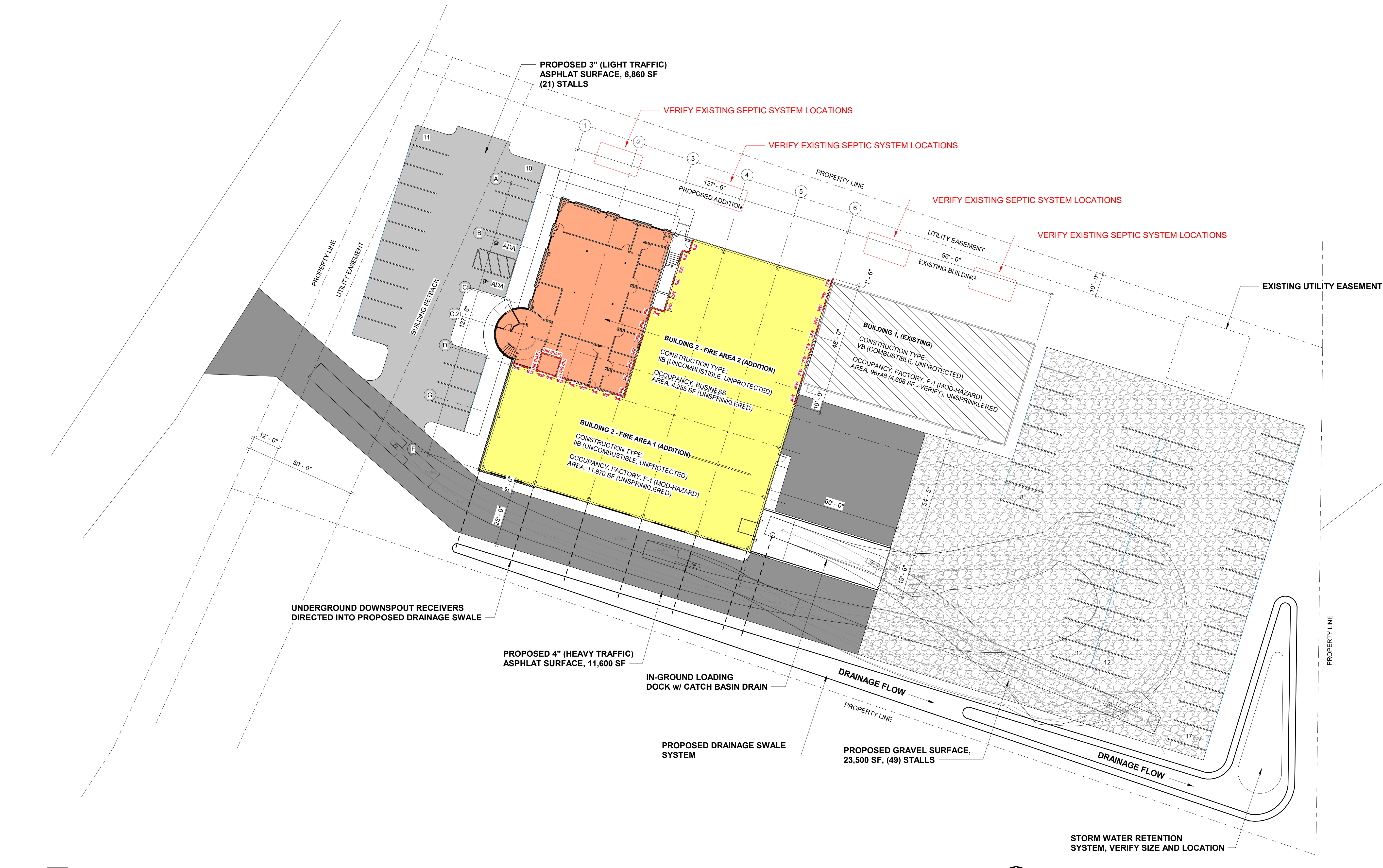
JOB NUMBER: 25-6139

PROJECT
EXECUTIVE: NICK VANLANEN

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DATE: 07/17/2025

REVISIONS:



SITE PLAN - PROPOSED

5/C1.0 SCALE = 3/64" = 1'-0"

SITE CALCULATIONS & INFORMATION

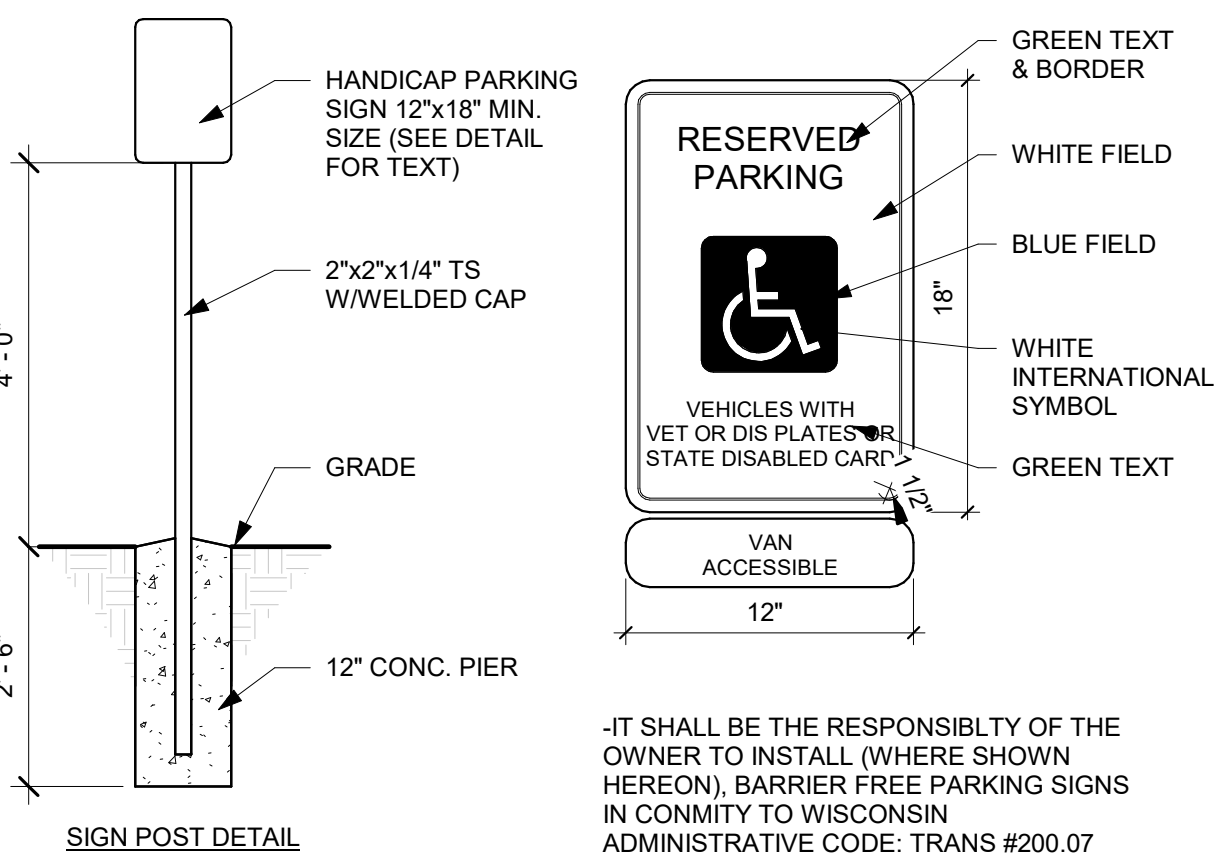
TOTAL LOT AREA =	SQ. FT.	ACRES
	(APPROX.)	
BUILDING AREA (EXISTING) =	SQ. FT.	
BUILDING AREA (PROPOSED) =	SQ. FT.	
ASPHALT AREA (EXISTING) =	SQ. FT.	
ASPHALT AREA (PROPOSED) =	SQ. FT.	
CONCRETE AREA (EXISTING) =	SQ. FT.	
CONCRETE AREA (PROPOSED) =	SQ. FT.	
SIDEWALK (LINEAR FT.)	FT.	
GRAVEL AREA =	SQ. FT.	
TOTAL IMPERVIOUS SURFACE =	SQ. FT.	
GREENSPACE AREA =	SQ. FT.	(APPROX.)
	%	
TOTAL PARKING STALL COUNT =	STALLS	
ADA STALLS (REQUIRED,)	STALLS PROVIDED,)	

ISSUED FOR: CHECKED DATE:
BY:

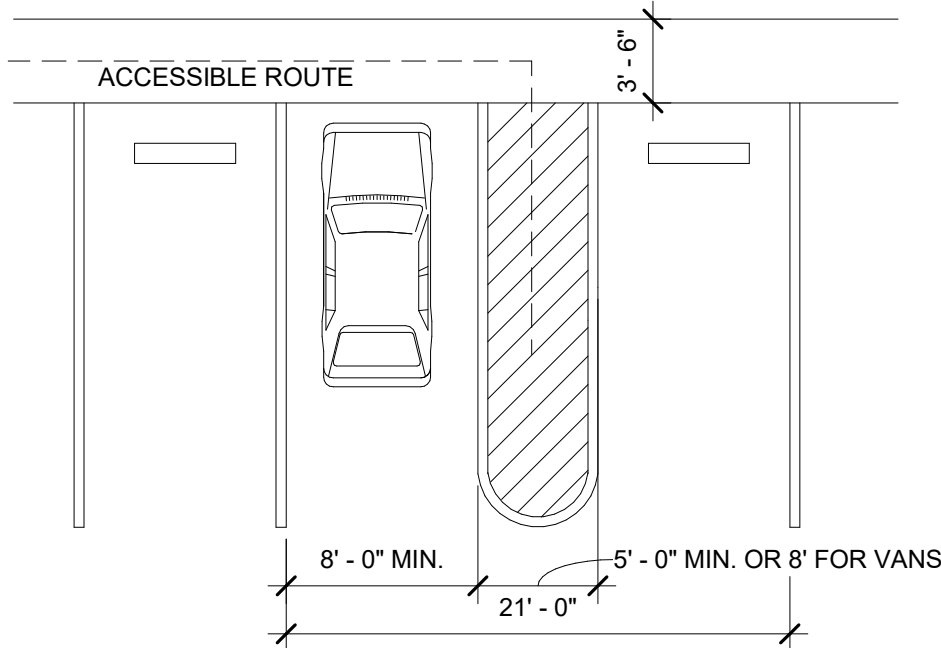
- ☐ PRELIMINARY
☐ BID SET
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☐ CHECKSET
☐ CONSTRUCTION

SITE PLAN

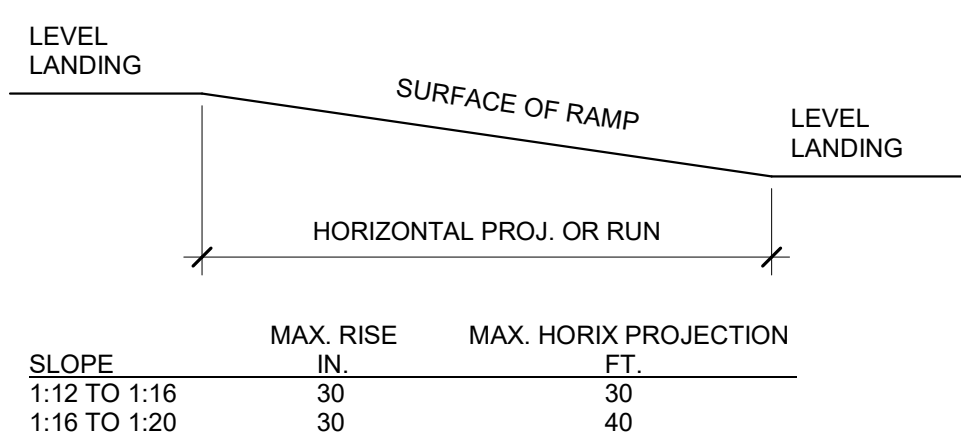
C1.0



1/C1.0 HANDICAP PARKING SIGN DETAILS N.T.S.



2/C1.0 HANDICAP PARKING SPACES N.T.S.



3/C1.0 SINGLE RAMP RUN N.T.S.

PARKING SITE REQ.

4.7.11 ISLANDS - ANY ISLAND IN CROSSING SHALL BE CUT THROUGH LEVEL WITH THE STREET OR HAVE CURB RAMPS AT BOTH SIDES AND A LEVEL AREA AT LEAST 48" LONG BETWEEN THE CURB RAMPS IN THE PART OF THE ISLAND INTERSECTED BY THE CROSSING.

4.8 RAMPS

4.8.1 GENERAL - ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND COMPLY WITH 4.8.

4.8.2 SLOPE AND RISE - THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30". (SEE FIG. 16) CURB RAMPS AND RAMPS TO BE CONSTRUCTED ON EXISTING SITES OR IN EXISTING BUILDINGS OF FACILITIES THAT HAVE SLOPES AND RISES AS ALLOWED IN 4.1.6(3)(A) IF SPACE LIMITATIONS PROHIBIT THE USE OF A 1:12 SLOPE OR LESS.

4/C1.0 SITE PARKING REQUIREMENTS N.T.S.

PROPOSED BUILDING ADDITION FOR:

TECH #4 LLC

DE PERE, WISCONSIN; COUNTY OF: BROWN

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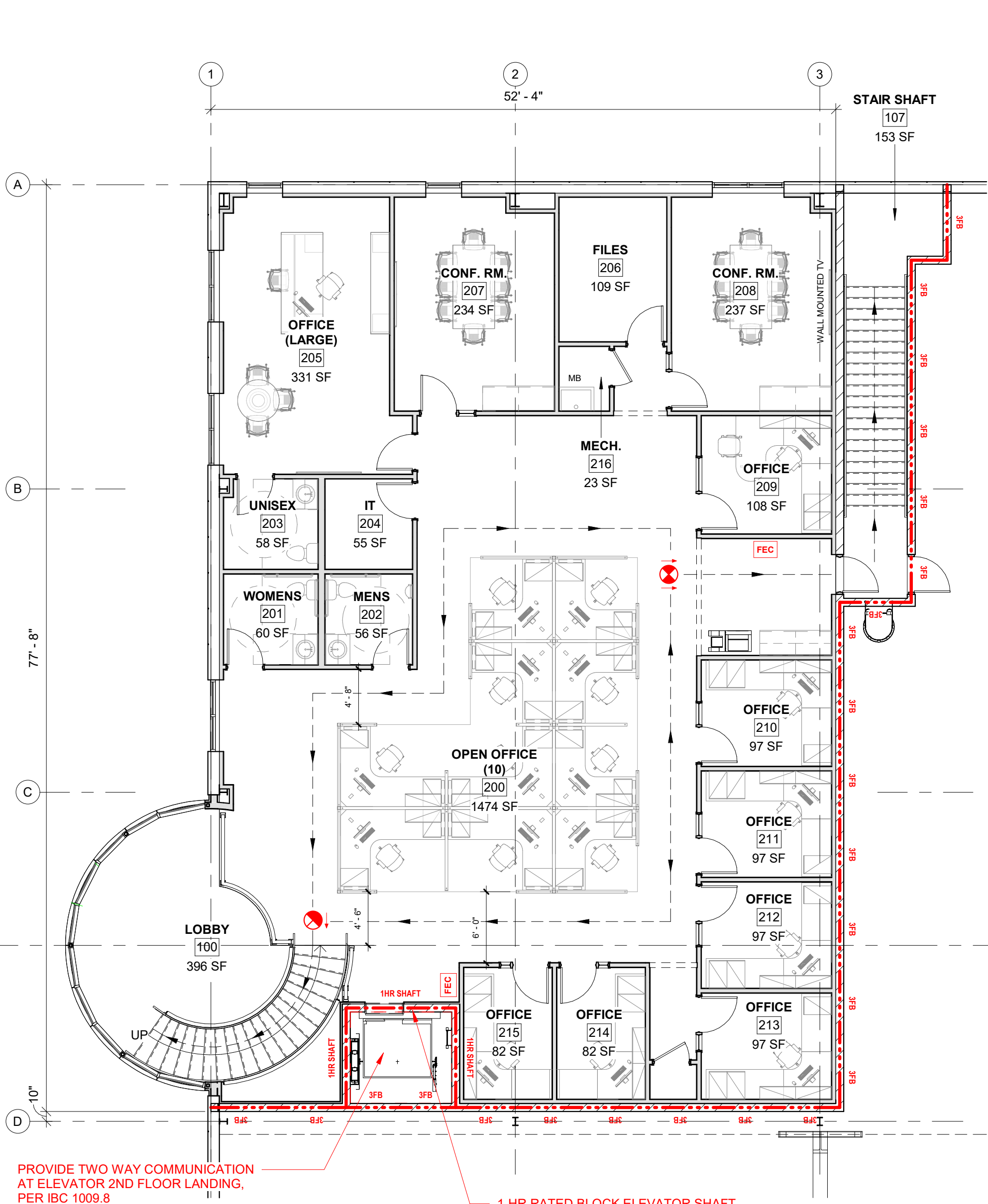
REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

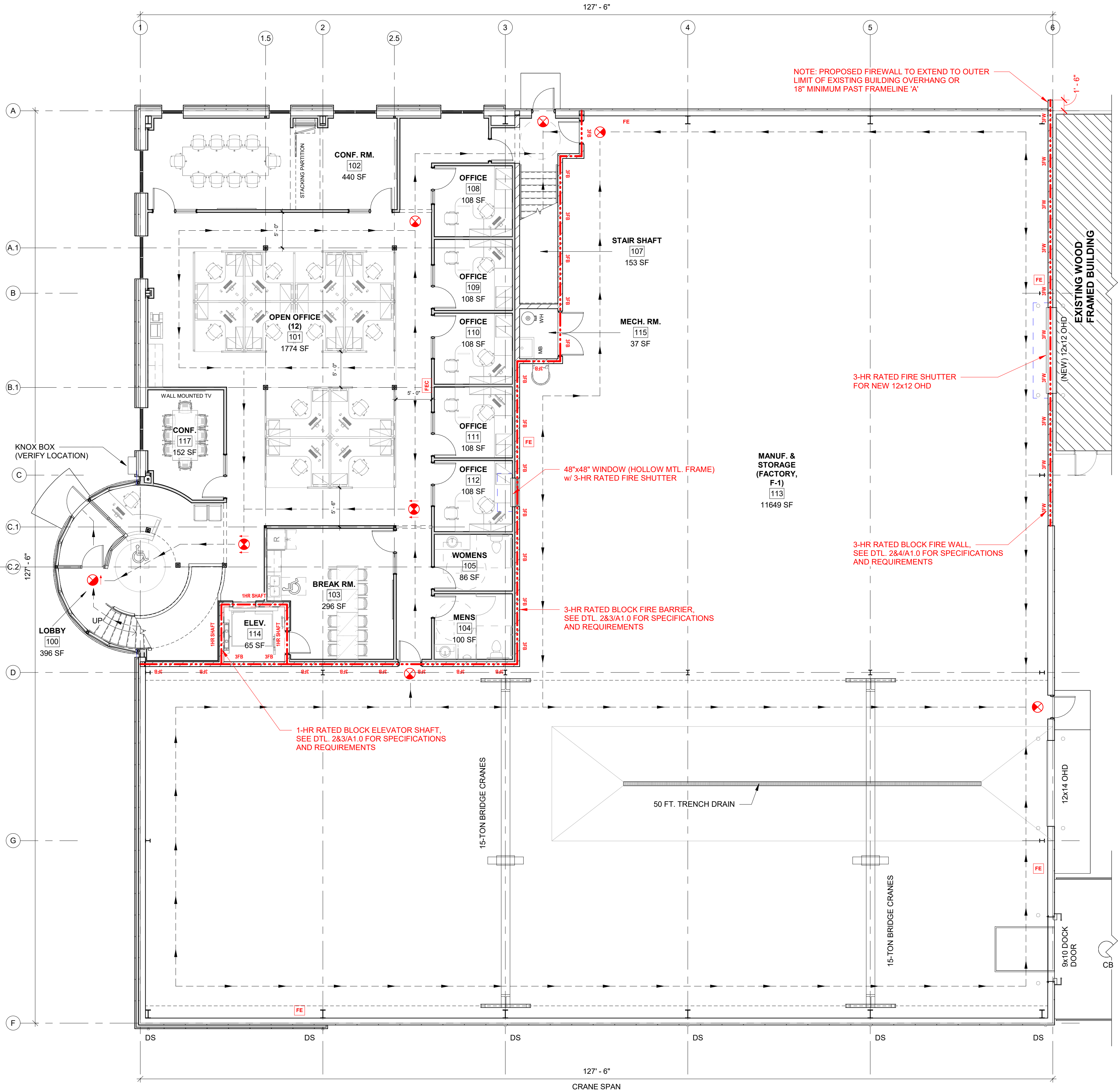
- ☐ PRELIMINARY
☐ BID SET
☒ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

LIFE SAFETY PLAN

LS1.0



LEVEL 002 - LIFE SAFETY PLAN
2/LS1.0 SCALE = 1/8" = 1'-0"



LEVEL 001 - LIFE SAFETY PLAN
1/LS1.0 SCALE = 1/8" = 1'-0"



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING ADDITION FOR:

TECH #4 LLC

DE PERE, WISCONSIN; COUNTY OF: BROWN

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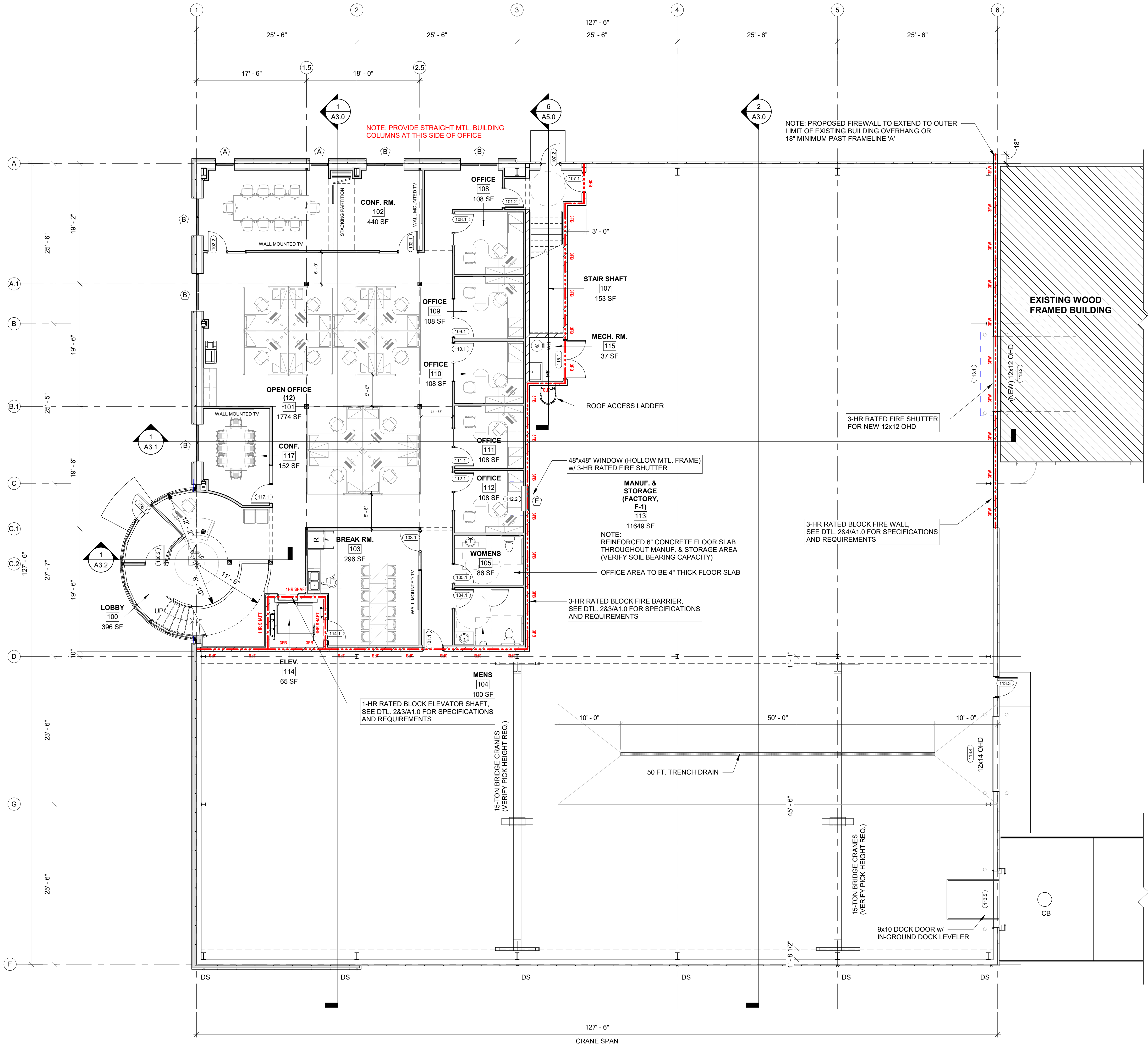
REVISIONS:

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BY:

- ☐ PRELIMINARY
☐ BID SET
☒ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

LEVEL 001 FLOOR PLAN -
OVERALL

A1.0



LEVEL 001 - OVERALL PLAN

1/ A1.0 SCALE = 1/8" = 1'-0"

DE PERE, WISCONSIN; COUNTY OF: BROWN

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JOB NUMBER: 25-6139

PROJECT EXECUTIVE: NICK VANLANEN

DRAWN BY: DV - JRG

DATE: 07/17/2025

REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

- | | |
|-------------------------------------|---------------|
| <input type="checkbox"/> | PRELIMINARY |
| <input type="checkbox"/> | BID SET |
| <input checked="" type="checkbox"/> | DESIGN REVIEW |
| <input type="checkbox"/> | CHECKSET |
| <input type="checkbox"/> | CONSTRUCTION |

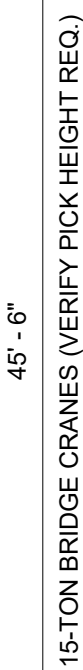
LEVEL 002 FLOOR PLAN -
OVERALL

A1.1

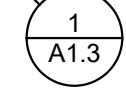


LEVEL 002 - OVERALL PLAN

1 /A1.1 SCALE = 1/8" = 1'-0"



2 /A1.2 SCALE = 3/32" = 1'-0"



1 /A1.2 SCALE = 3/32" = 1'-0"

A1.2

NOTE:
- ALL GYP BD TO BE RAN TO 1'-0"
ABOVE CEILING FINISH
(SEE R.C.P. FOR ADD'T DTLS)

- 5/8" GYP BD FASTENED
W/ CLIPS OR GLUED TO
COLUMNS AS NEEDED

- 1-1/2" 20GA MTL STUDS @ 16" O.C.
- 5/8" GYP BD
- FURRING STRIPS

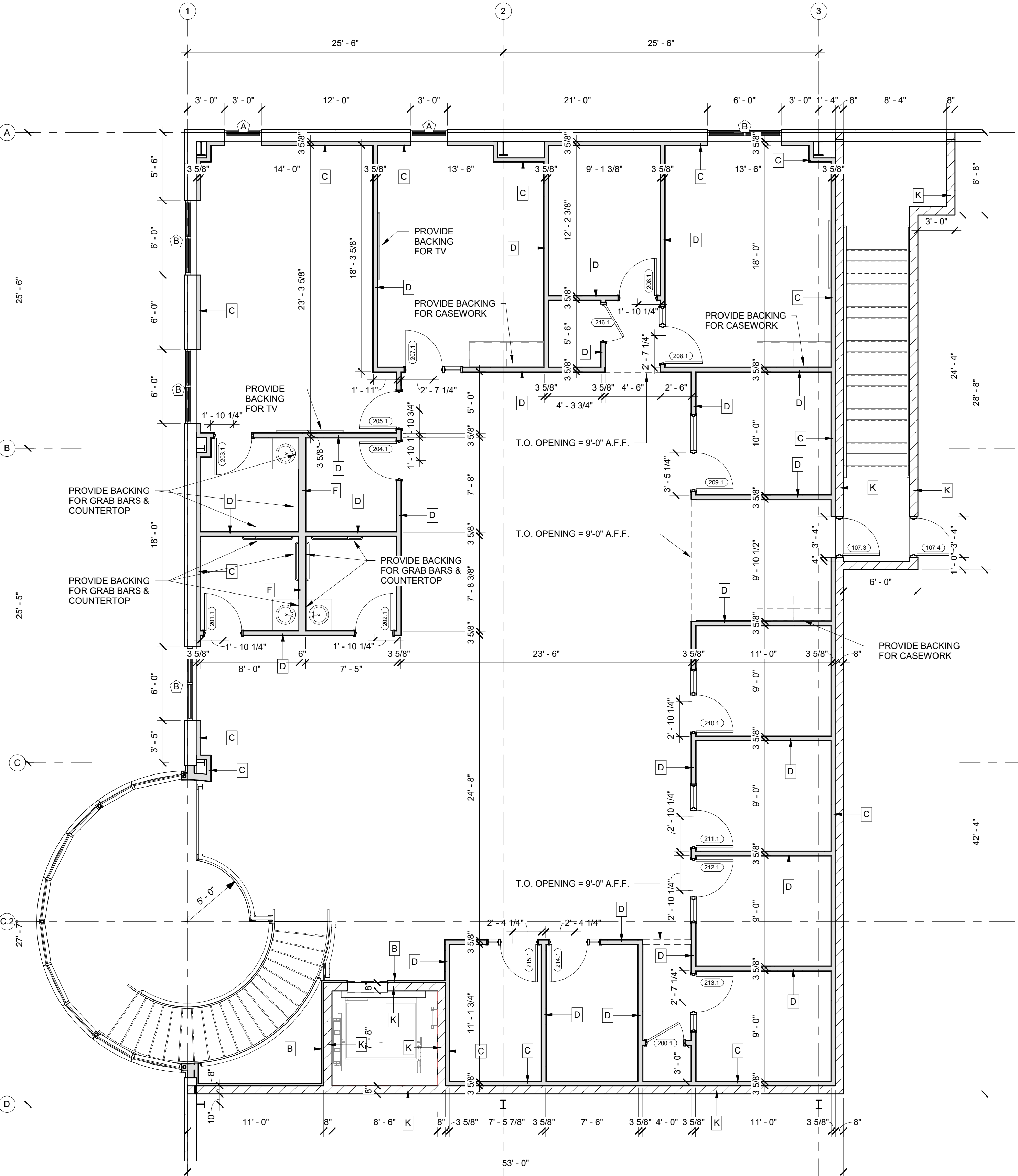
- 3-5/8" 20GA MTL STUDS @ 16" O.C.
- 5/8" GYP BD

- 3-5/8" 20GA MTL STUDS @ 16" O.C.
- 5/8" GYP BD E.S.
- 4" BATT INSUL.

- 6" MTL STUDS
@ 16" O.C.
- 5/8" GYP BD (INTERIOR SIDE)

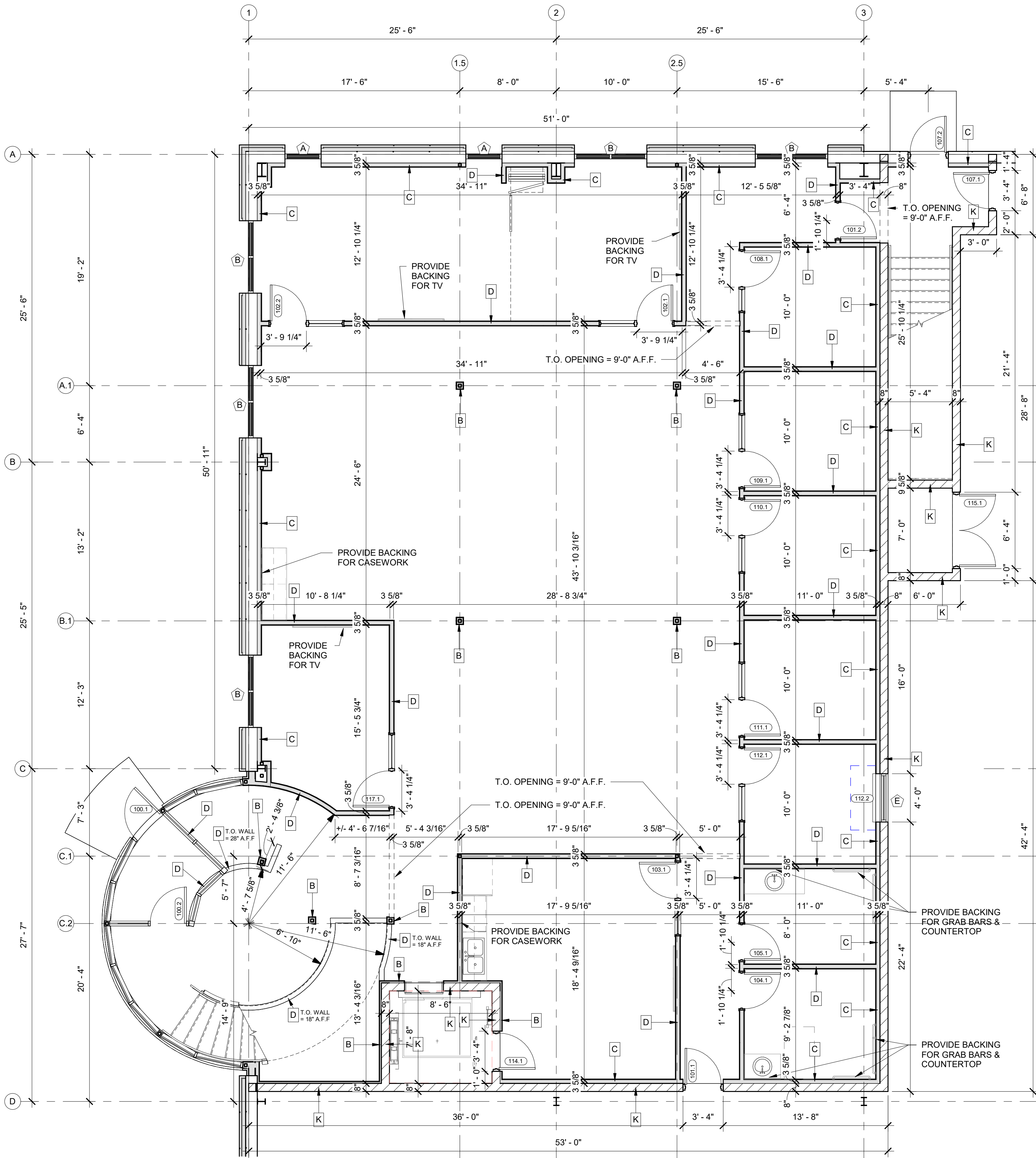
- 6" 20GA MTL STUDS @ 16" O.C.
- 5/8" GYP BD E.S.

- 8" SMOOTH FACE CMU



LEVEL 002 - OFFICE DIMENSION PLAN

NORTH 2/A1.3 SCALE = 3/16" = 1'-0"



LEVEL 001 - OFFICE DIMENSION PLAN

NORTH 1/A1.3 SCALE = 3/16" = 1'-0"

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DIMENSION PLANS - ENLARGED

A1.3

PROPOSED BUILDING ADDITION FOR:

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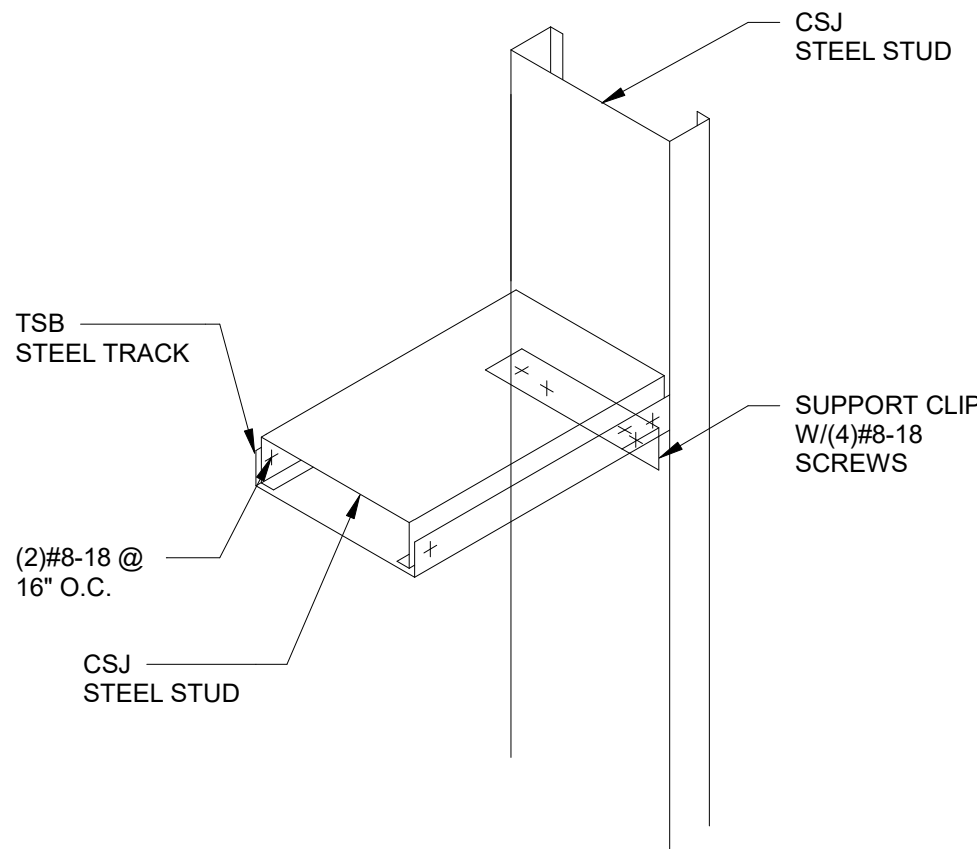
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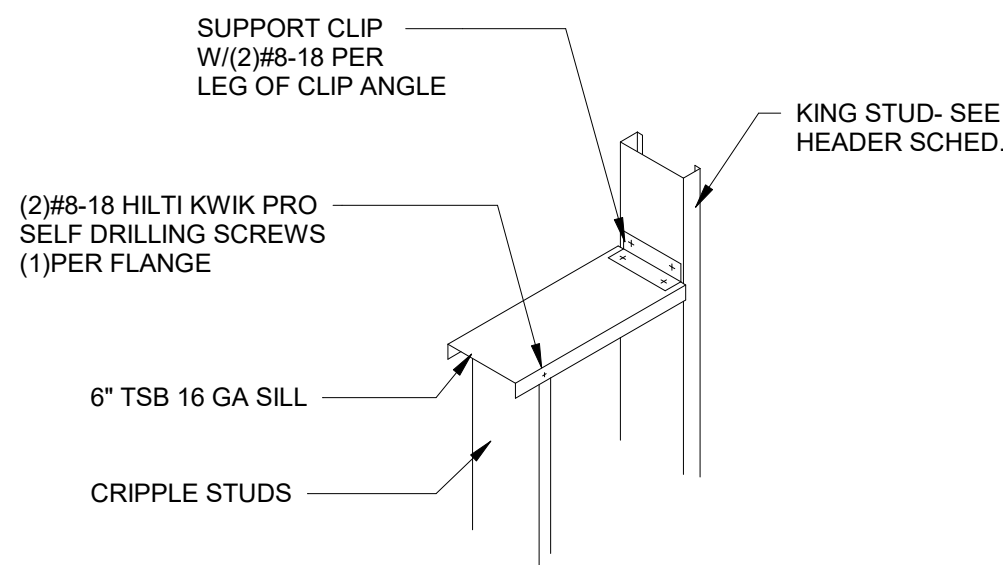
- ☐ PRELIMINARY
☐ BID SET
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☐ CHECKSET
☐ CONSTRUCTION

STRUCTURAL METAL STUD
DETAILS

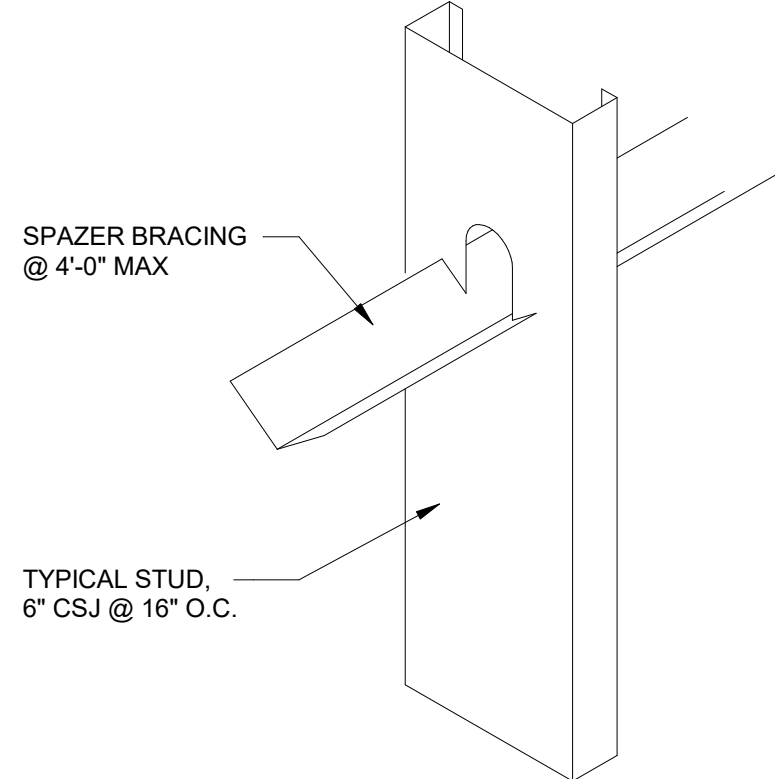
S4.4



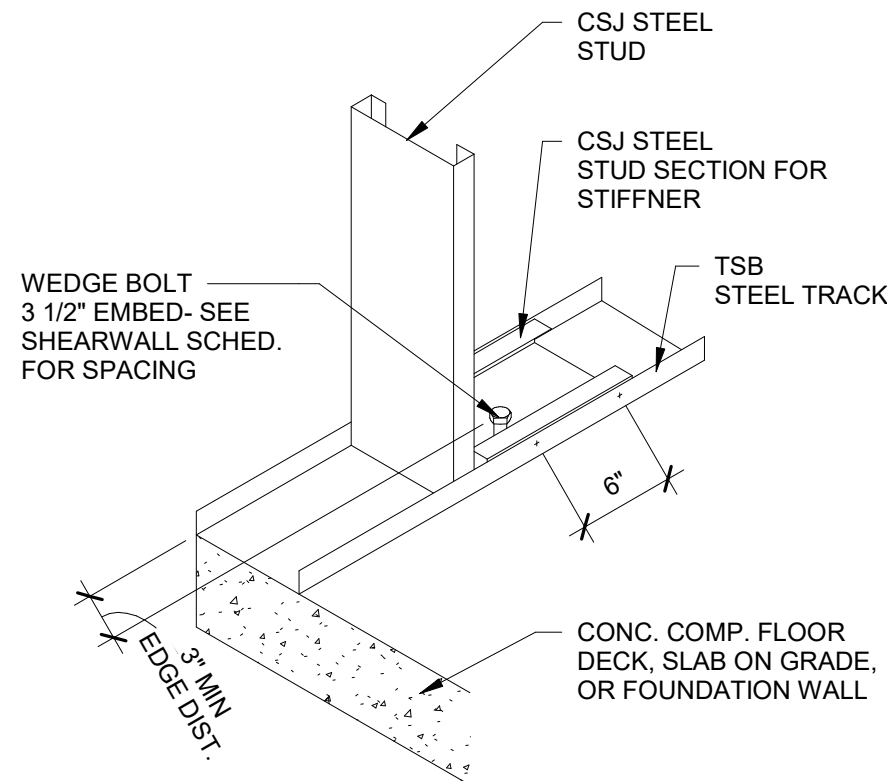
5 / S4.4 METAL STUD DETAIL 8 N.T.S.



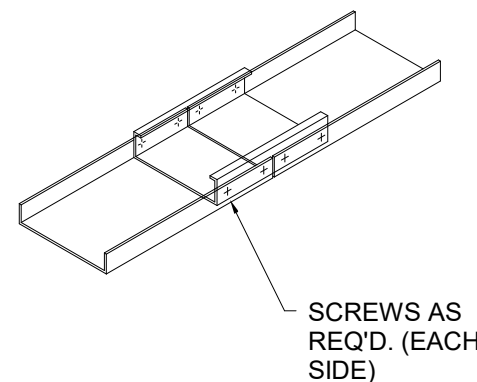
4 / S4.4 METAL STUD DETAIL 2 N.T.S.



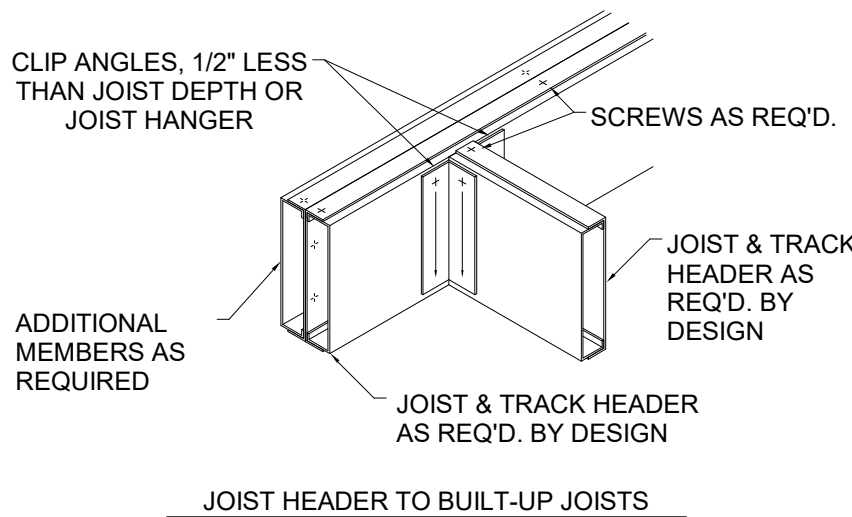
3 / S4.4 METAL STUD DETAIL 1 N.T.S.



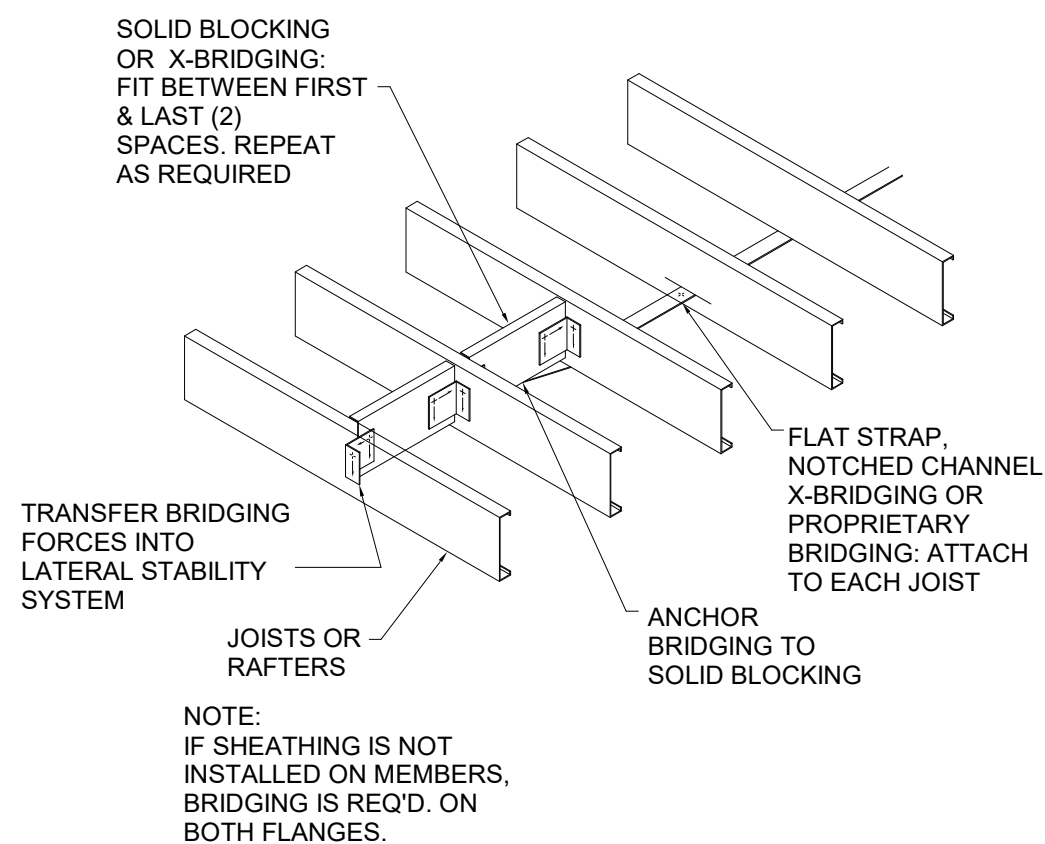
2 / S4.4 METAL STUD DETAIL 9 N.T.S.



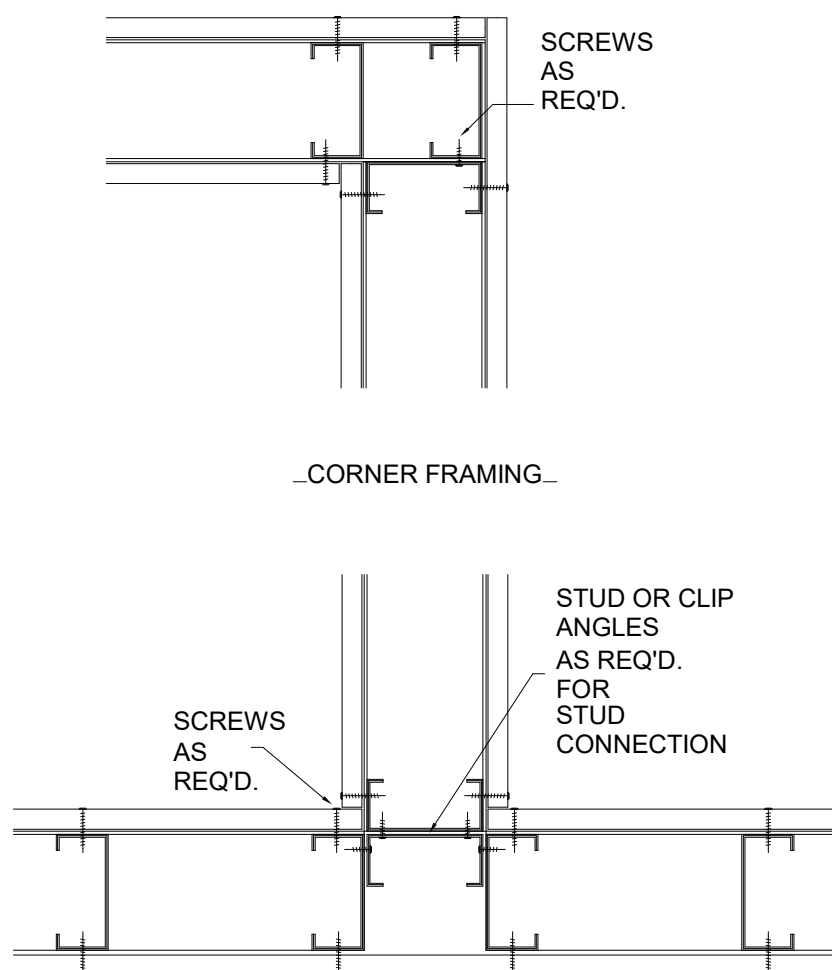
1 / S4.4 LGSF TRACK SPLICE DETAIL N.T.S.



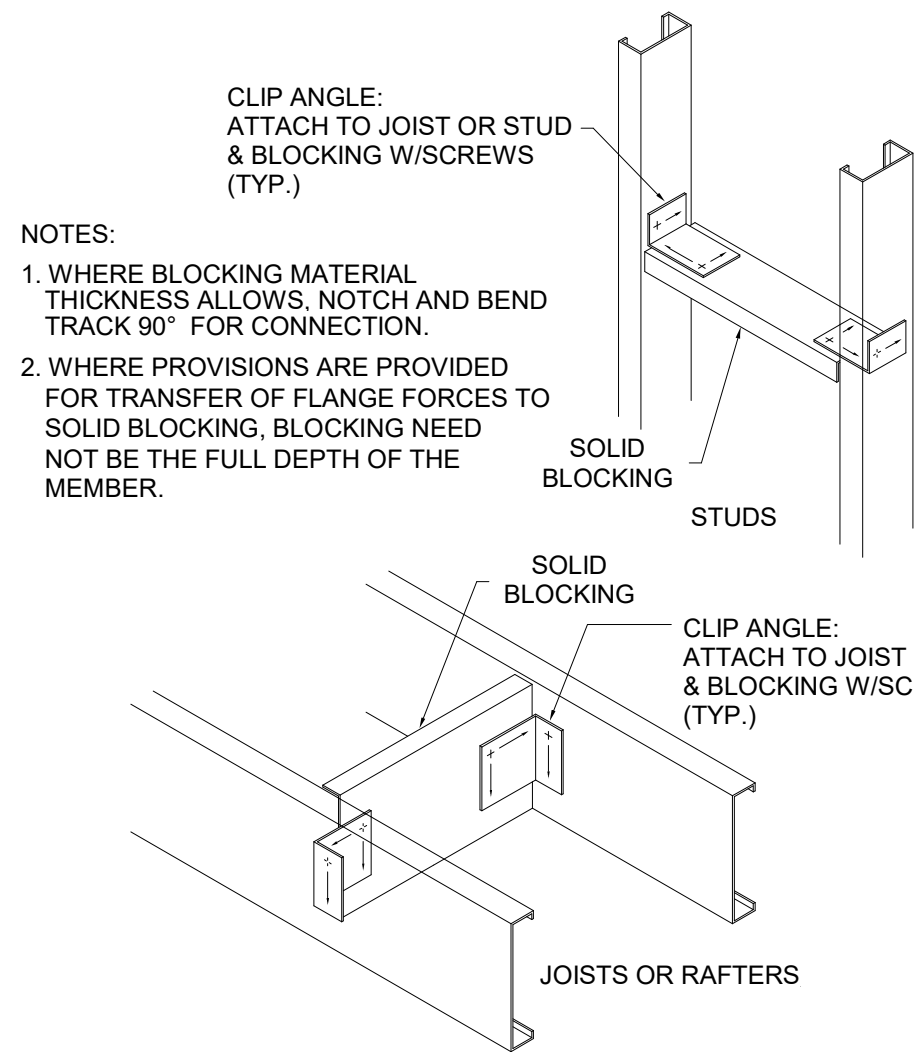
10 / S4.4 METAL JOIST HEADER DETAIL N.T.S.



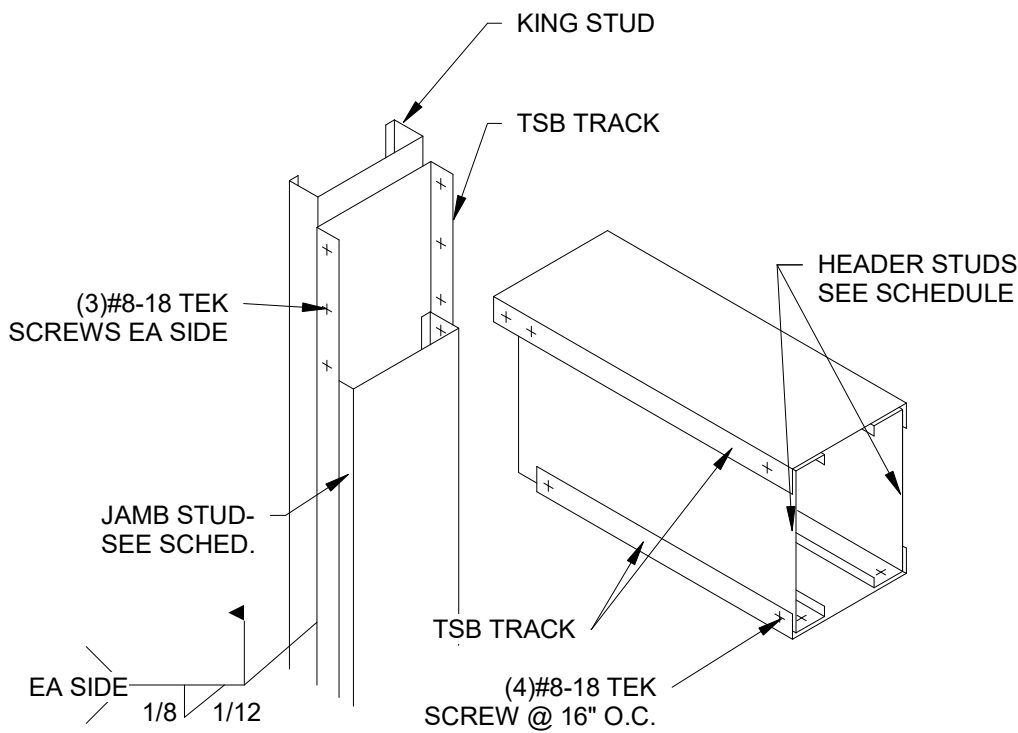
9 / S4.4 METAL JOIST BRIDGING DETAIL N.T.S.



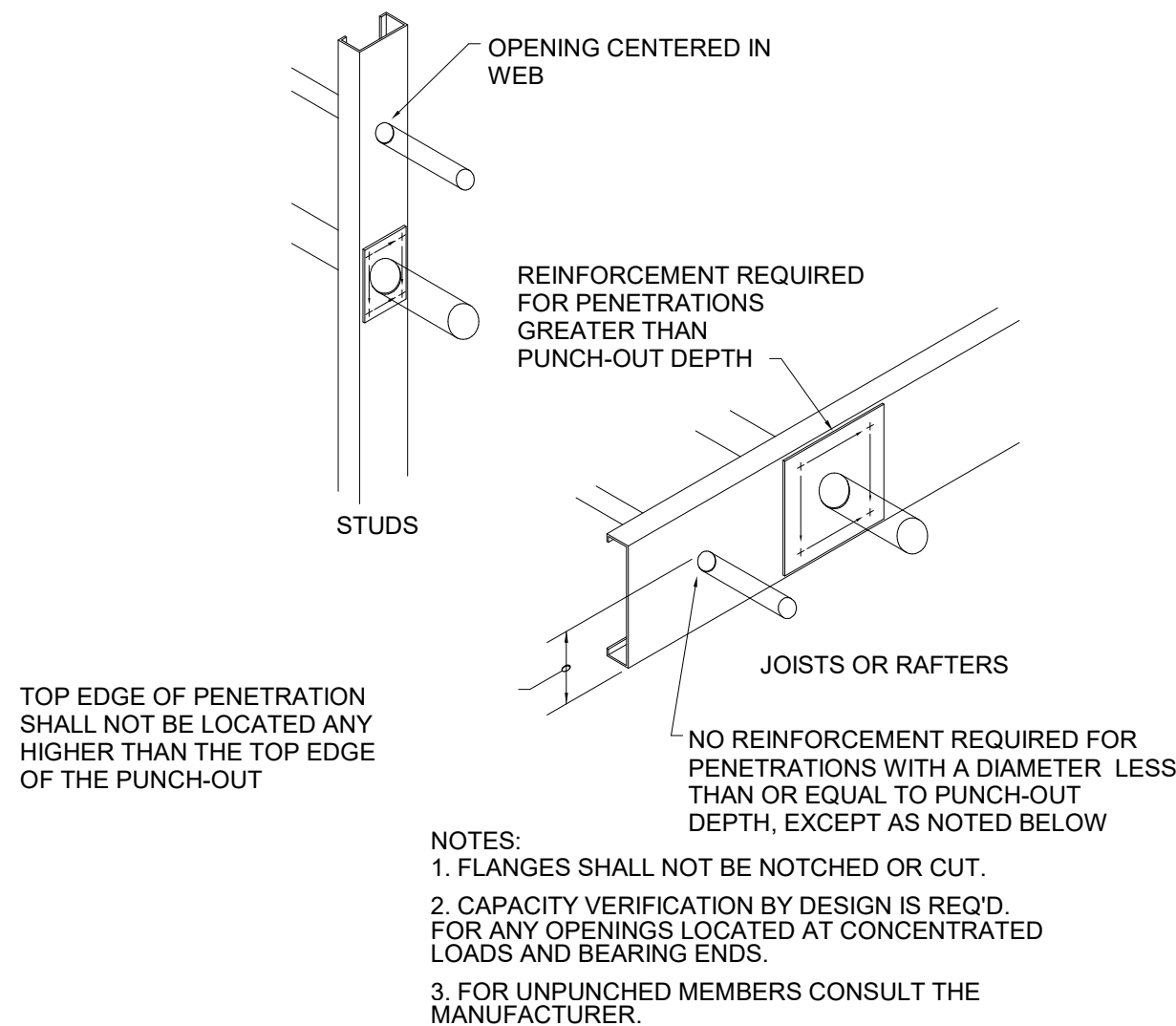
8 / S4.4 METAL STUD FRAMING DETAIL N.T.S.



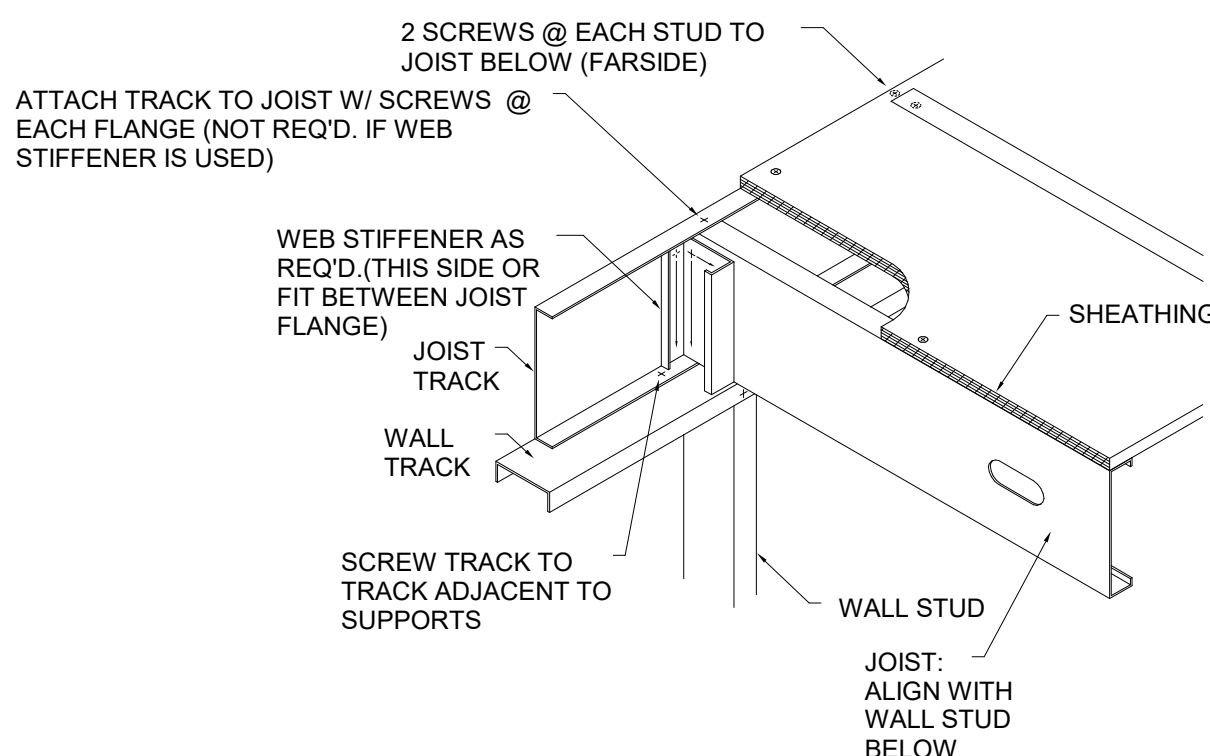
7 / S4.4 METAL STUD BLOCKING DETAIL N.T.S.



6 / S4.4 METAL STUD DETAIL 6 N.T.S.



12 / S4.4 METAL STUD PENETRATIONS DETAIL N.T.S.



11 / S4.4 METAL STUD BEARING DETAIL N.T.S.

CFS HEADER SCHEDULE								
MARK	BOX HEADER			TRACK			JAMB	
	SIZE	GRADE	No.	SIZE	GRADE	No.	SIZE	GRADE
H-1	600S162-33	33	2	362T125-33	33	2	362S162-33	33
H-2	800S162-43	50	2	362T125-43	33	2	362S162-33	33
H-3	800S162-43	50	2	600T125-43	33	2	600S162-33	33
H-4	1200S162-97	50	2	600T125-54	33	2	600S162-33	50

MEMBER WEB DEPTH
EXAMPLE: 362 = 3 5/8"
EXAMPLE: 600 = 6"
EXAMPLE: 1000 = 10"

FLANGE WIDTH
EXAMPLE 162 = 1.625" = 1 5/8"

STEEL GRADE
IF NOT LISTED THEN
DEFAULT GRADE 33 KSI
EXAMPLE:
600 S 162-54 = 33 KSI
600 S 162-54 (50) = 50 KSI

600 S 162 - 54 (50)

STYLE
S = STUD OR JOIST SECTIONS
T = TRACK SECTIONS
U = CHANNEL SECTIONS
F = FURRING CHANNEL SECTIONS

MIL THICKNESS
97 = 12 GA
68 = 14 GA
54 = 16 GA
43 = 18 GA
33 = 20 GA
30 = 20 GA DRYWALL

13 / S4.4 MEMBER DESIGNATION N.T.S.

Town of Lawrence, Regular Town Board Meeting
Town Hall 2400 Shady Court, De Pere WI 54115
Monday, September 22, 2025, at 6:00 P.M.

Discussion and Action on the following:

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Approve Agenda
5. Public Comments upon matters not on agenda or other announcements
6. Consider minutes of September 8, 2025 Town Board Meeting.
7. Consideration of payment of due invoices
8. Review of Recommendations and Reports from Planning & Zoning Board:
 - a. Consideration of Site Plan Review for Commercial Addition at 3547 French Road on Parcel L-90 by Bayland Buildings Inc. for 4Rent LLC.
 - b. Consideration of 2 Lot Certified Survey Map (CSM) on Parcel L-451-4 by McMahon Associates for Thomas Perock.
 - c. Consideration of Rock Ridge Preliminary Plat Review for single-family & two-family residential lots on Portions of Parcels L-452-5 & L-451-4 by McMahon Associates for Thomas Perock and Town of Lawrence.
 - d. Consideration to set a Public Hearing date for Zoning Amendment request from A-1 to R-1 & R-2 on Portions of Parcels L-452-5 & L-451-4 as presented on the Preliminary Rock Ridge Subdivision Plat by McMahon Associates for Thomas Perock and Town of Lawrence.
 - e. Consideration to set a Public Hearing date for Conditional Use Permit (CUP) request for a dwelling residence on property zoned Business/Commercial at 3051 Williams Grant Drive, Parcel L-40-3 by John Schroeder.
 - f. Consideration to set a Public Hearing date for Zoning Amendment request from B-1 to Limited Industrial at 2272 Mid Valley Rd, Parcel L-424-3 by Matthew Verboort for 41/12 LLC.
 - g. Consideration to set a Public Hearing date for Conditional Use Permit (CUP) request for Sports Training Facility on property zoned Business/Commercial, Parcel L-452-4 by SVR Properties for Town of Lawrence.
 - h. Consideration to set a Public Hearing date for Ordinance Amendment of Town Ordinance 300-13 Limited Industrial Permitted Uses.
9. Consideration to Award Bid for TID #3 Deep Sanitary Sewer Infrastructure -Beno/Lawrence Grove
10. Consideration of Pay Request #10 – Mid Valley Drive Utility Relocation- PTS Contractors- \$103,266.08
11. Consideration of Pay Request #3 – 2025 Town Road Improvement Projects – MCC, Inc. - \$1,635.43.
12. Update on Sand Acres Reconstruction Planning - (*Public Info Meeting 4:30p on Sept 22nd*)
13. Consideration of Employee Benefit/Insurance Changes for 2026
14. Administrator/Staff Reports
15. Future Agenda Items
16. **Closed Session:** Pursuant to Ch. 19.85(1)(e) Deliberation or negotiation for the purchase of public properties, the investment of public funds, or the conduct of other specific public business, whenever competitive or bargaining reasons require a closed session (*re: Emergency Services Agreement and New Subdivision Development negotiations*) and **Closed Session:** Pursuant to Ch. 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved (*Multiple cases*)
17. Return to Regular Open Session for possible action pursuant to Ch. 19.85 (2) of Wisconsin Stats
18. Adjourn

Patrick Wetzel for Dr. Lanny J. Tibaldo

Posted at the following on September 19, 2025:

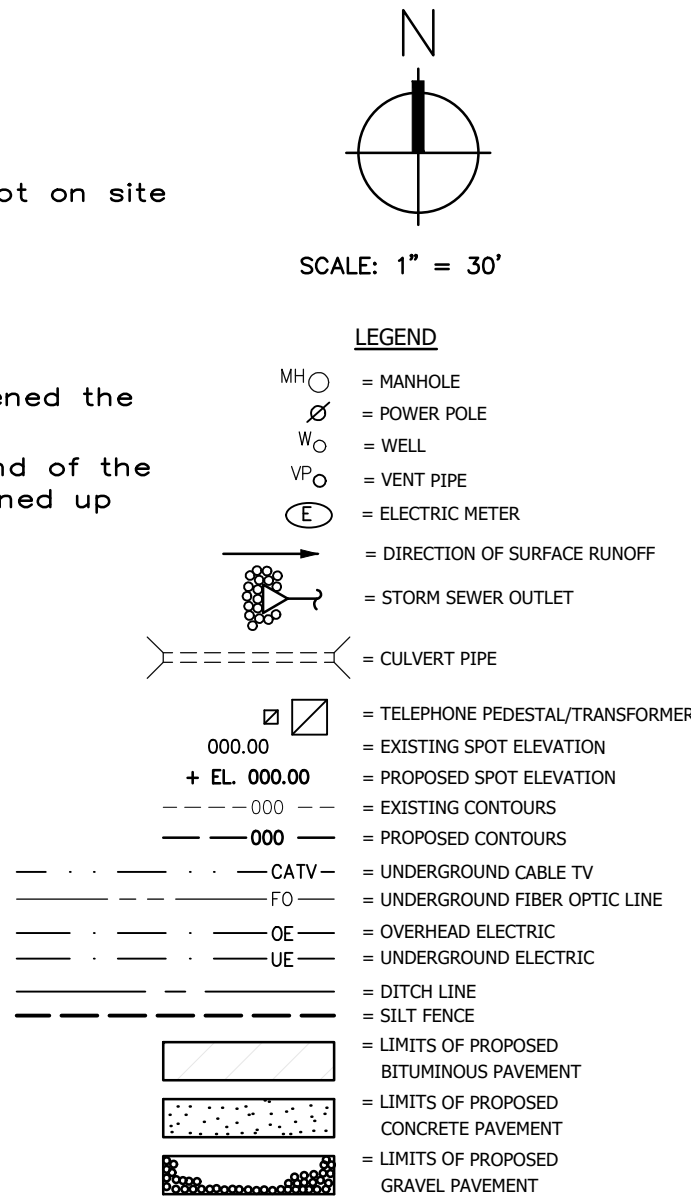
- ☒ Town Hall, 2400 Shady Ct; Posted to the Town Website;
- ☒ Notice to News Media

NOTE: Any person wishing to attend this meeting who, because of disability requires special accommodations, should contact Town Clerk-Treasurer Cindy Kocken, at 920-347-3719 at least 2 business days in advance so that arrangements can be made.

EROSION CONTROL NOTES

- All site contractors should obtain the Wisconsin Department of Natural Resources Technical Standards.
- All erosion and sediment control measures shall be constructed, inspected and maintained in accordance with the Erosion Control Plan, WDNR Technical Standards and the WPDES General Permit for the site. Inspection reports shall be maintained.
- All sediment control measures shall be adjusted to meet field conditions at the time of construction and installed prior to any grading or disturbance of existing surface material. BMPs shall be installed around all soil stockpiles. Stockpiles left in place greater than 7 days shall be properly stabilized.
- Weekly inspection and maintenance of all sediment control structures shall be provided to ensure intended purpose is accomplished. Sediment control measures are to be in working condition at the end of each working day.

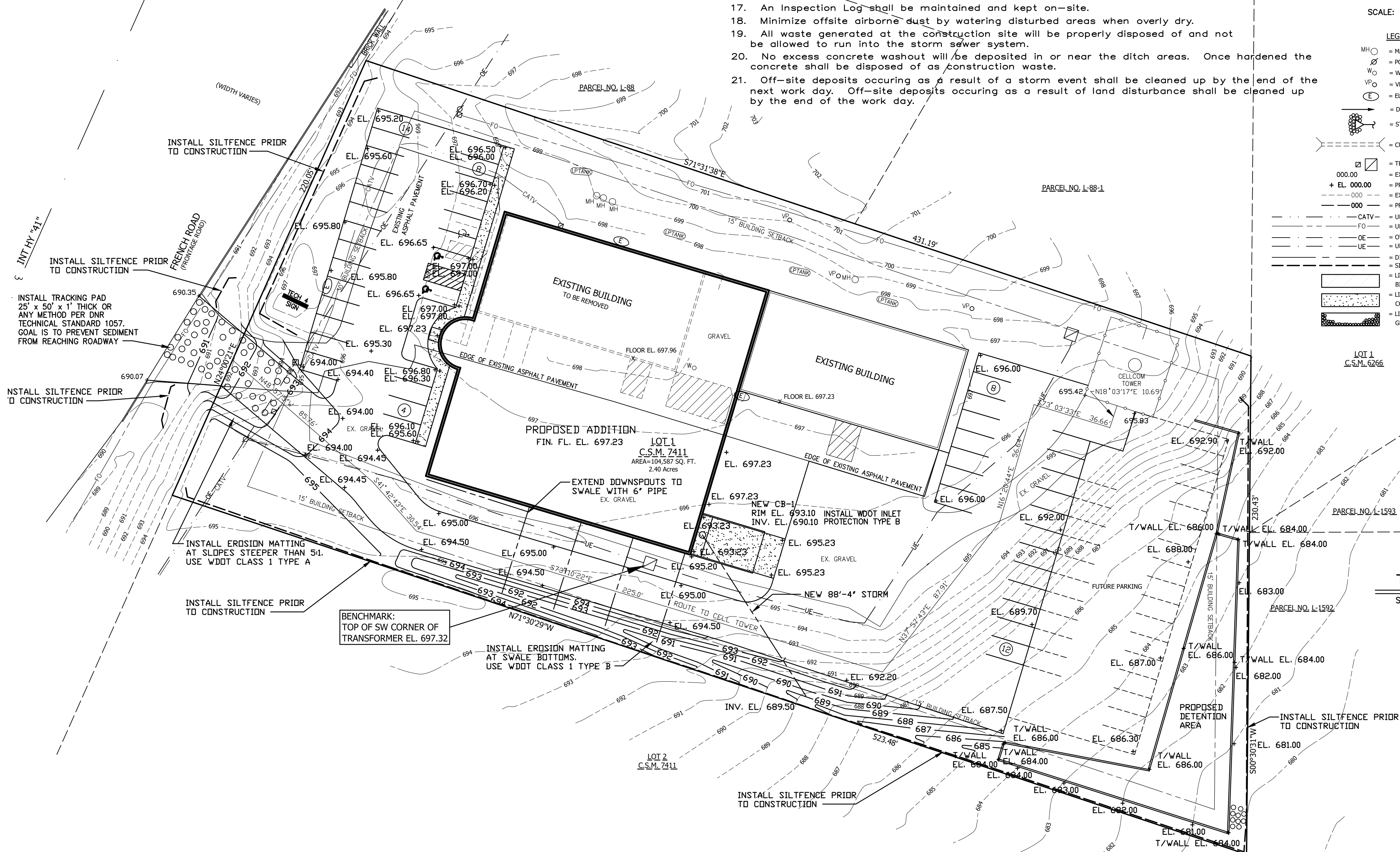
- Within 24 hours of a rainfall of 0.5 inches or more, sediment control structures shall be inspected for integrity. Any damaged structures shall be corrected immediately.
- Sediment control measures shall not be removed until the areas served have established vegetative cover.
- Gravel mats shall be installed at all construction site exits to prevent tracking of soil. The gravel mat shall consist of 3"-6" clear stone placed 12" deep, for a minimum of 50'.
- Tracked soil shall be collected daily from paved roads located near the construction site.
- Dewatering shall conform to DNR Technical Standard 1061.
- Woven geotextile filter fabric shall be used to protect storm water catch basins per WDOT inlet protection types B or D. A minimum of 10 inches of fabric shall extend beyond the grating to provide a handhold when removing. Fabric shall be Type FF. Inlets shall remain protected until the entire drainage area of the inlet is restored. Alternative protection shall be utilized around the catch basin if flooding may cause damage to adjacent buildings or properties. The catch basin shall be inspected after each rainfall event and cleaned as needed to maintain flow. If fabric is ripped it shall be replaced by the end of the work day. Fabric shall not be ripped or cut to prevent ponding.
- Overland flow shall be prevented from leaving the work site by installing straw bale or filter fabric fencing parallel to the contours located downhill from the work area.
- Sediment control for pipeline construction:
 - Excavated trench material shall be placed on the uphill side of the trench.
 - Immediately following pipe installation, the trench shall be backfilled, compacted and stabilized at the end of each working day.
- All disturbed ground outside of the everyday construction area at a minimum be temporarily seeded/mulched with oats or rye if the area is left inactive for more than 7 days.
- The existing grass street terrace shall be maintained as a buffer during construction. It shall be restored with temporary seed and mulch at a minimum 7 days after the completion of all lateral installations and other construction activity. If the terrace is not to be restored during final landscaping, a permanent seed mix shall be utilized.
- All erosion control practices damaged due to winter weather shall be repaired/replaced immediately.
- The WPDES Permit, Erosion Control Plan and Stormwater Management Plan shall be kept on site at all times.
- An Inspection Log shall be maintained and kept on-site.
- Minimize offsite airborne dust by watering disturbed areas when overly dry.
- All waste generated at the construction site will be properly disposed of and not be allowed to run into the storm sewer system.
- No excess concrete washout will be deposited in or near the ditch areas. Once hardened the concrete shall be disposed of as construction waste.
- Off-site deposits occurring as a result of a storm event shall be cleaned up by the end of the next work day. Off-site deposits occurring as a result of land disturbance shall be cleaned up by the end of the work day.



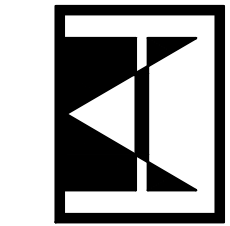
PREFERRED GRADATION OF STONE	
SIEVE SIZE	PERCENT BY WEIGHT PASSING
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5

TRACKING PAD DETAIL

SCALE: NONE



EROSION CONTROL PLAN



REV. NO.	DESCRIPTION	DATE	BY	REV. NO.	DESCRIPTION	DATE	BY
A		00-00-00					

PROJECT: BAYLAND BUILDINGS
TECH 4
LOCATION: 3547 FRENCH ROAD
TOWN OF LAWRENCE
DESCRIPTION: EROSION CONTROL PLAN

25-09-0002 L-451-4



TOWN OF LAWRENCE CSM REVIEW APPLICATION

GENERAL INFORMATION

Purpose:	A Certified Survey Map (CSM) is a legal recorded property description created in accordance with Wisconsin Statutes 236 and Brown County Ordinances Chapter 21. All CSMs must be created by a registered land surveyor. A CSM can divide property in 1-4 parcels. Five or more parcels require a subdivision plat.
Fee:	\$75.00
Meeting Dates/Times:	Meetings of the Planning and Zoning Board occur the second Wednesday of each month at the Lawrence Town Hall, 2400 Shady Ct., De Pere, WI 54115 at 6:00pm. Application and supporting document(s) must be submitted seven (7) days prior to meeting.
Application/Information Submittal:	A completed application along with appropriate fee must be submitted to the Town's Business Office. One (1) complete copy of the information being presented to the Board must be included with the application along with a .pdf copy via email. A representative is required to attend and present the information at the meeting.
Ordinance:	<u>Town Ordinance § 267-29</u>

READ ALL INSTRUCTIONS PROVIDED BEFORE COMPLETING. IF ADDITIONAL SPACE IS NEEDED, ATTACH ADDITIONAL PAGES.

SECTION 1: APPLICANT INFORMATION

Applicant Name: McMahon Associates Inc. Attn: Doug Woelz

Mailing Address: 1445 McMahon Drive

City: Neenah

State: WI

ZIP Code: 54956

Email: dwoelz@mcmgrp.com

Phone Number: 920-751-4200

SECTION 2: LANDOWNER/DEVELOPER INFORMATION (IF DIFFERENT FROM APPLICANT)

Owner/Developer Name: Thomas P. Perock Family Irrevocable Trust

Mailing Address: 1521 Sand Acres Drive

Email:

City: De Pere

State: WI

ZIP Code: 54115

Email:

Phone number:

SECTION 3: PROJECT OR SITE LOCATION

Project Address: 2388 STH 41

Parcel #(s): L-451-4

Parcel Size: 36.11 acres

Current Zoning District: A-1 Agricultural

Frontage: 1513 ft along Beck Way
562 ft along Larry Lane

Legal Description:

Part of Lot 71 of the recorded plat of The Subdivision of the William's Grant, Town of Lawrence



TOWN OF LAWRENCE CSM REVIEW APPLICATION

SECTION 4: CSM INFORMATION

Present Use of Parcel:	agricultural
Proposed Use of Lots:	Lot 1 - agricultural, future commercial or multi-family Lot 2 - residential

Please submit 1 hard copy and 1 PDF copy of the CSM if the property is located within the Town.

SECTION 5: CERTIFICATION and PERMISSION

CERTIFICATION: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this permit application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and or forfeiture under the provisions of applicable laws.

PERMISSION: I hereby give the Town permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Signature of Applicant:

Date:

Dean E. W.

8-27-2025



FOR OFFICE USE ONLY
APPLICATION/PAYMENT RECEIVED BY

Name: _____

Check # 178802 Amount: \$ 75.-

Date: _____

Meeting Date: 9/10/25

Permit #: 25-09-0002

Parcel #: L-451-4

District: _____

Zoning: _____

CERTIFIED SURVEY MAP SHEET 1 OF 6

PART OF LOT 71 OF THE RECORDED PLAT OF THE
SUBDIVISION OF THE WILLIAM'S GRANT, TOWN OF LAWRENCE,
BROWN COUNTY, WISCONSIN

SOUTHWEST CORNER
LOT 78 WILLIAM'S GRANT
1" IRON PIPE WITH
PLASTIC CAP FOUND

NORTHWESTERLY LINE LOTS 66 THROUGH 78 OF WILLIAM'S GRANT
S38°04'30"W 6965.02'
3800.76' 3164.26'

NORTHWEST CORNER
LOT 66 WILLIAM'S GRANT
MAG NAIL WITH
WASHER FOUND

[FRONTAGE ROAD]
FRENCH ROAD
RIGHT-OF-WAY WIDTH VARIES

I.H. "41"
RIGHT-OF-WAY WIDTH VARIES

[FRONTAGE ROAD]
LARRY LANE
RIGHT-OF-WAY WIDTH VARIES

FOR:
THOMAS P. PEROCK FAMILY
IRREVOCABLE TRUST
1521 SAND ACRES DR.
DE PERE, WI 54115

SEE SHEET 2 FOR
DETAIL OF
ENVIRONMENTALLY
SENSITIVE AREAS
AND SETBACK LINE

SEE SHEET 3 FOR
NOTES AND
RESTRICTIONS

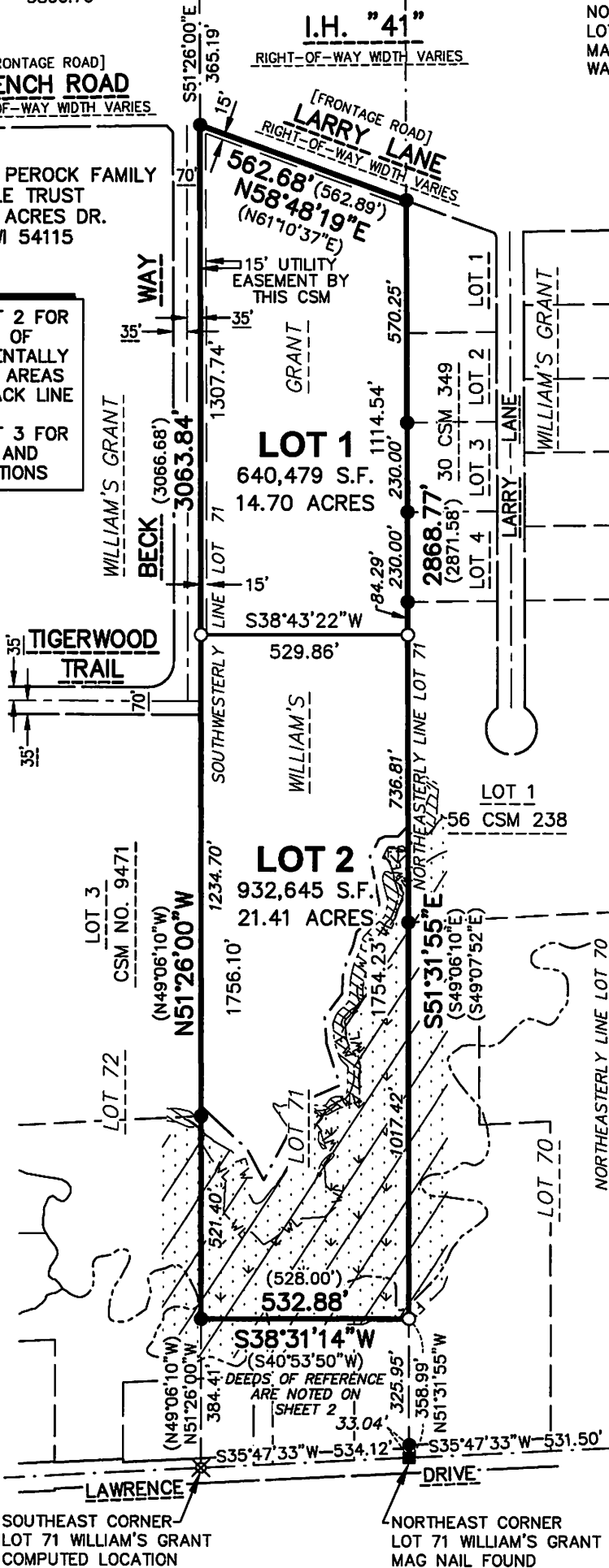
BEARINGS ARE REFERENCED TO THE
NORTHWESTERLY LINE OF LOTS 66
THROUGH 78 OF THE SUBDIVISION OF
THE WILLIAM'S GRANT, WHICH BEARS
S38°04'30"W PER THE WISCONSIN
COUNTY COORDINATE SYSTEM AS
PUBLISHED FOR BROWN COUNTY

400 200 0 400

SCALE - FEET
1" = 400'

LEGEND

- - 1.315" O.D. X 18" IRON PIPE WEIGHING
1.68 LBS./LINEAL FT. SET WITH CAP
- - 1.315" O.D. IRON PIPE FOUND
- - MAG NAIL FOUND
- ⊗ - COMPUTED LOCATION
- ⊙ - CERTIFIED LAND CORNER
BROWN COUNTY
- S.F. - SQUARE FEET
- () - RECORDED BEARING AND/OR DISTANCE
- VL - DELINEATED WETLANDS
- FP - FEMA MAPPED FLOODPLAIN,
ZONE AE
- FW - FEMA MAPPED FLOODWAY
- ES - ENVIRONMENTALLY SENSITIVE AREA
(ESA) STEEP SLOPES OF 20% OR
GREATER, FIELD LOCATED



NORTHEAST CORNER
LOT 70 WILLIAM'S GRANT
MAG NAIL FOUND

McMAHON
ENGINEERS ARCHITECTS

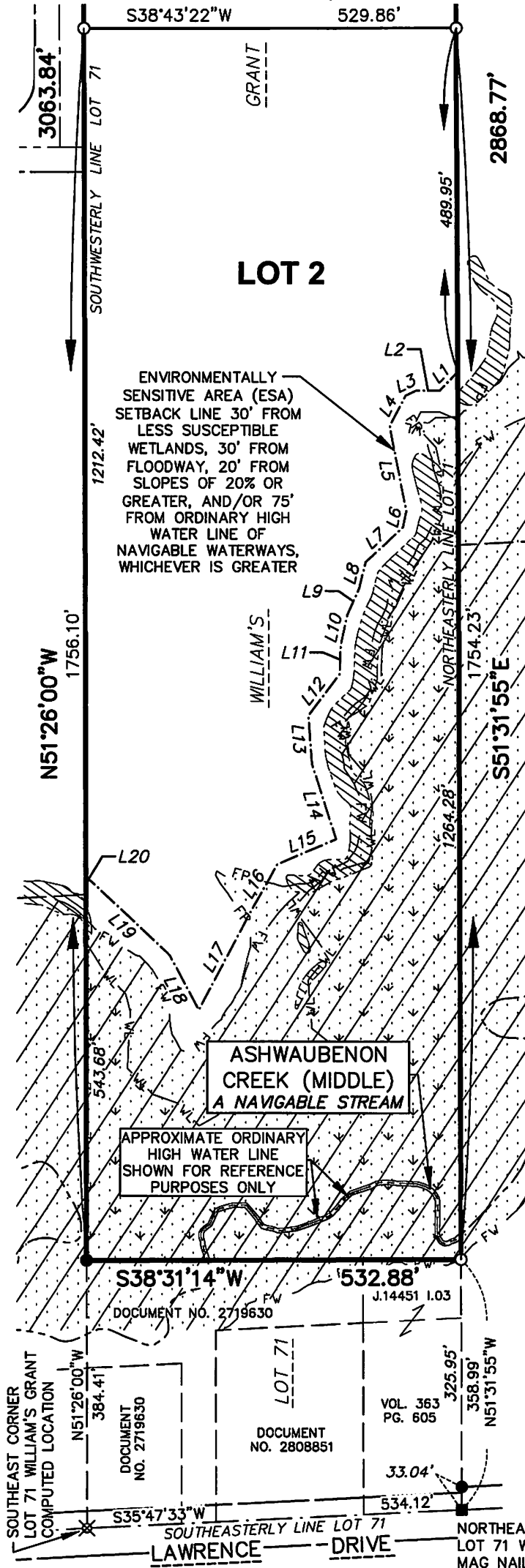
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

DRAFTED BY: AMY M. SEDLAR

CERTIFIED SURVEY MAP

SHEET 2 OF 6

PART OF LOT 71 OF THE RECORDED PLAT OF THE SUBDIVISION OF THE
WILLIAM'S GRANT, TOWN OF LAWRENCE, BROWN COUNTY, WISCONSIN



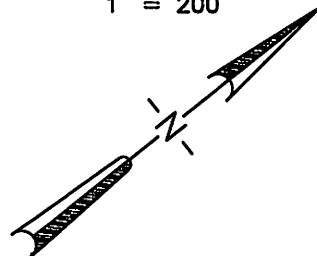
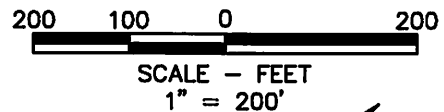
ESA LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S08°01'51"E	37.22'
L2	S38°38'07"W	33.38'
L3	S13°51'51"W	16.70'
L4	S23°53'20"E	49.14'
L5	S62°21'21"E	123.18'
L6	S39°44'43"E	23.41'
L7	S04°13'08"E	73.15'
L8	S37°50'51"E	38.64'
L9	S27°31'31"E	41.31'
L10	S38°28'43"E	43.68'

ESA LINE TABLE		
LINE	DIRECTION	LENGTH
L11	S49°18'15"E	41.80'
L12	S14°23'50"E	73.65'
L13	S55°28'26"E	68.84'
L14	S69°05'27"E	112.34'
L15	S15°37'00"W	91.18'
L16	S22°04'26"E	81.19'
L17	S23°30'25"E	153.48'
L18	N79°24'56"W	87.55'
L19	S81°48'34"W	155.52'
L20	S59°12'41"W	6.57'

LEGEND

- - 1.315" O.D. X 18" IRON PIPE WEIGHING 1.68 LBS./LINEAL FT. SET WITH CAP
- - 1.315" O.D. IRON PIPE FOUND
- - MAG NAIL FOUND
- ✕ - COMPUTED LOCATION
- ▨ - ENVIRONMENTALLY SENSITIVE AREA (ESA)
- ▨ - STEEP SLOPES OF 20% OR GREATER, FIELD LOCATED
- W - WETLANDS DELINEATED BY WALLY SEDLAR OF MCMAHON ASSOCIATES DATED AUGUST 4, 2025
- FW - MAPPED FLOODWAY LIMITS PER LOMR (TO FEMA FIRM PANEL NO. 55009C0244F) CASE NO. 19-05-3386P, EFFECTIVE DATE OF SEPTEMBER 18, 2020
- FP - FLOOD PLAIN, ZONE AE PER LOMR (TO FEMA FIRM PANEL NO. 55009C0244F) CASE NO. 19-05-3386P, EFFECTIVE DATE OF SEPTEMBER 18, 2020
- - ENVIRONMENTALLY SENSITIVE AREA (ESA) SETBACK LINE

BEARINGS ARE REFERENCED TO THE NORTHWESTERLY LINE OF LOTS 66 THROUGH 78 OF THE SUBDIVISION OF THE WILLIAM'S GRANT, WHICH BEARS S38°04'30"W PER THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR BROWN COUNTY



CERTIFIED SURVEY MAP

SHEET 3 OF 6

PART OF LOT 71 OF THE RECORDED PLAT OF THE SUBDIVISION OF THE WILLIAM'S GRANT, TOWN OF LAWRENCE, BROWN COUNTY, WISCONSIN

A SHORELAND PERMIT FROM THE BROWN COUNTY ZONING ADMINISTRATOR'S OFFICE IS REQUIRED FOR LOT 2 PRIOR TO CONSTRUCTION, FILL OR GRADING ACTIVITY WITHIN 300 FEET OF A STREAM.

LOT 2 INCLUDES WETLAND AREAS THAT MAY REQUIRE PERMITS FROM THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES, ARMY CORP OF ENGINEERS, BROWN COUNTY PLANNING COMMISSION, OR THE BROWN COUNTY ZONING ADMINISTRATOR'S OFFICE PRIOR TO ANY DEVELOPMENT ACTIVITY.

THE PROPERTY OWNERS, AT THE TIME OF CONSTRUCTION, SHALL IMPLEMENT THE APPROPRIATE SOIL EROSION CONTROL METHODS OUTLINED IN THE WISCONSIN CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS (AVAILABLE FROM THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES) TO PREVENT SOIL EROSION. HOWEVER, IF AT THE TIME OF CONSTRUCTION THE TOWN HAS AN ADOPTED SOIL EROSION CONTROL ORDINANCE, IT SHALL GOVERN OVER THIS REQUIREMENT. THIS PROVISION APPLIES TO ANY GRADING, CONSTRUCTION, OR INSTALLATION-RELATED ACTIVITIES.

THE LOCATION OF THE APPROXIMATE ORDINARY HIGH WATER LINE SHALL BE THE POINT ON THE BANK OF THE NAVIGABLE STREAM UP TO WHICH THE PRESENCE AND ACTION OF SURFACE WATER IS SO CONTINUOUS AS TO LEAVE A DISTINCTIVE MARK BY EROSION, DESTRUCTION OF TERRESTRIAL VEGETATION, OR OTHER RECOGNIZED CHARACTERISTICS.

ANY LAND BELOW THE ORDINARY HIGH WATER LINE OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.

WDNR NOTES:

LOT 2 HAS MAPPED WETLANDS AND/OR WETLAND INDICATOR SOILS PRESENT. IF THE CURRENT OR FUTURE LANDOWNER HAS PLANS FOR LAND DISTURBANCE, CONSTRUCTION WORK, GRADING/FILLING, ETC., THE FIRST STEP IS FOR THE LANDOWNER TO HIRE A WETLAND PROFESSIONAL TO REVIEW THE AREA FOR THE PRESENCE OF WETLANDS. A PROJECT THAT RESULTS IN FILLING OF WETLANDS (THROUGH LAND DISTURBING ACTIVITIES) WILL NEED TO COMPLY WITH WETLAND REGULATIONS. FOR MORE INFORMATION ON WETLANDS, PLEASE VISIT [HTTP://DNR.WI.GOV/TOPI/WATERWAYS/CONSTRUCTION/WETLANDS.HTML](http://DNR.WI.GOV/TOPI/WATERWAYS/CONSTRUCTION/WETLANDS.HTML).

A PUBLIC (NAVIGABLE) WATERWAY MAY EXIST ON/WITHIN 500 FT OF THE PROPERTY. PERMITS MAY BE REQUIRED FOR PROPOSED PROJECTS IN/AROUND A PUBLIC WATERWAY. FOR MORE INFORMATION ON WATERWAY ACTIVITIES, PLEASE VISIT THE DEPARTMENT'S HOMEPAGE ON WETLAND/WATERWAY ACTIVITIES AT [HTTP://DNR.WI.GOV/TOPI/WATERWAYS/](http://DNR.WI.GOV/TOPI/WATERWAYS/).

FOR PLANNED LAND DISTURBANCES OVER 1 ACRE, PLEASE VISIT [HTTP://DNR.WI.GOV/TOPI/STORMWATER/](http://DNR.WI.GOV/TOPI/STORMWATER/) TO LEARN IF YOU NEED A STORM WATER CONSTRUCTION SITE PERMIT.

FOR FEDERAL WETLAND REGULATIONS, PLEASE CONTACT THE ARMY CORPS OF ENGINEERS AT 920-448-2824 TO LEARN IF A FEDERAL WETLAND APPROVAL IS REQUIRED FOR SITE DEVELOPMENT.

RESTRICTIVE COVENANTS:

ESA:

LOT 2 CONTAINS AN ENVIRONMENTALLY SENSITIVE AREA (ESA) AS DEFINED IN THE 2040 BROWN COUNTY URBAN SERVICE AREA WATER QUALITY PLAN. THE ESA INCLUDES: WETLANDS, ALL LAND WITHIN 50 FEET OF APPROXIMATE WETLANDS, 10-30 FEET, 35 FEET, 50 FEET OR 75 FEET FROM DELINEATED WETLANDS DEPENDING ON SUSCEPTIBILITY; FLOODWAY, ALL LAND WITHIN 30 FEET OF THE FLOODWAY; NAVIGABLE WATERWAYS, ALL LAND WITHIN 75 FEET OF THE ORDINARY HIGH WATER LINE OF NAVIGABLE WATERWAYS; STEEP SLOPES OF 20% OR GREATER ASSOCIATED WITH ANY AFOREMENTIONED WATER OR NATURAL RESOURCE FEATURES, ALL LANDS WITHIN 20 FEET FROM TOP AND BOTTOM OF STEEP SLOPES; ANY LAND DISTURBING ACTIVITIES ARE RESTRICTED IN THE ESA UNLESS AMENDMENTS ARE APPROVED BY THE BROWN COUNTY PLANNING COMMISSION AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.

LOT DRAINAGE: THE LAND ON ALL SIDE AND REAR LOT LINES OF ALL LOTS SHALL BE GRADED BY THE LOT OWNER AND MAINTAINED BY THE ABUTTING PROPERTY OWNERS TO PROVIDE FOR ADEQUATE DRAINAGE OF SURFACE WATER. GRADING ACTIVITIES WITHIN ESA AND ESA SETBACK AREAS ARE RESTRICTED UNLESS AN ESA AMENDMENT IS APPROVED BY THE BROWN COUNTY PLANNING COMMISSION, OR GRADING IS COMPLETED AS PART OF AN APPROVED GRADING AND STORMWATER MANAGEMENT PLAN.

NOTES

THIS CSM IS ALL OF PARCEL NO. L-451-4

THE PROPERTY OWNER OF RECORD IS THOMAS P. PEROCK FAMILY IRREVOCABLE TRUST
DATED DECEMBER 24, 2020

THIS PROPERTY IS CONTAINED WHOLLY WITHIN LANDS DESCRIBED IN DOCUMENT NO. 2939139

CERTIFIED SURVEY MAP

SHEET 4 OF 6

**PART OF LOT 71 OF THE RECORDED PLAT OF THE SUBDIVISION OF THE
WILLIAM'S GRANT, TOWN OF LAWRENCE, BROWN COUNTY, WISCONSIN**

SURVEYOR'S CERTIFICATE

I, Douglas E. Woelz, Wisconsin Professional Land Surveyor S-2327, certify that I have surveyed, divided and mapped part of Lot 71 of the recorded plat of the Subdivision of The William's Grant, Town of Lawrence, Brown County, Wisconsin containing 1,573,124 square feet (36.11 acres) of land and more fully described as follows:

Commencing at the Northwest corner of Lot 66 of said recorded plat of the Subdivision of The William's Grant; Thence S38°04'30"W, 3164.26 feet along the Northwesterly line of Lots 66 through 78 of said Subdivision of The William's Grant to the Southwest corner of Lot 71 of said plat; Thence S51°26'00"E, 365.19 feet along the Southwesterly line of said Lot 71 to the Southeasterly right-of-way line of Larry Lane (frontage road to I.H. "41" and the Point of Beginning; Thence N58°48'19"E, 562.68 feet (recorded as N61°10'37"E, 562.89') along said Southeasterly right-of-way line to the Southwesterly corner of Certified Survey Map No. 4781 recorded in Volume 30 of Certified Survey Maps on Pages 349-350 as Document No. 1419398 and the Northeasterly line of Lot 71 of said Subdivision of The William's Grant; Thence S51°31'55"E, 2868.77 feet (recorded as S49°06'10"E and S49°07'52"E, 2871.58') along the Southwesterly line of said Certified Survey Map, the Southwesterly line of Lot 1 of Certified Survey Map No. 8115 recorded in Volume 56 of Certified Survey Maps on Pages 238-240 as Document No. 2523804 and the Northeasterly line of said Lot 71 to the Northwesterly corner of lands described in Jacket 14451 Image 03; thence S38°31'14"W, 532.88 feet (recorded as S40°53'50"W, 528.00') along the Northwesterly line of lands described in Jacket 14451 Image 03 and Document No. 2719630 to the Southwesterly line of Lot 71 of said Subdivision of The William's Grant; thence N51°26'00"W, 3063.84 feet (recorded as N49°06'10"W, 3066.68') along said Southwesterly line and the Northeasterly line of Certified Survey Map No. 9471 recorded as Document No. 3004248 to the Northwest corner thereof and the Point of Beginning.

That I have made this survey by the direction of the Thomas P. Perock Family Irrevocable Trust Dated December 24, 2020 being the Owner of said lands.

I further certify that this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land, and that I have complied with section 236.34 of the Wisconsin Statutes, Town of Lawrence and Brown County Subdivision Ordinance in surveying, dividing and mapping the same.

Given under my hand and seal this ____day of _____, 20____.

Douglas E. Woelz, WI Professional Land Surveyor S-2327

CERTIFIED SURVEY MAP

SHEET 5 OF 6

**PART OF LOT 71 OF THE RECORDED PLAT OF THE SUBDIVISION OF THE
WILLIAM'S GRANT, TOWN OF LAWRENCE, BROWN COUNTY, WISCONSIN**

TOWN OF LAWRENCE APPROVAL

Approved by the Town Board of the Town of Lawrence on this _____ day of
_____, 20____.

Dr. Lanny J. Tibaldo, Town Chairperson

Date

Cindy Kocken, Town Clerk

Date

CERTIFICATE OF COUNTY TREASURER

As duly elected Brown County Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Certified Survey Map as of the date listed below.

County Treasurer
Raymond F. Suennen

Date

BROWN COUNTY PLANNING COMMISSION APPROVAL

Approved by the Brown County Planning Commission
this _____ day of _____, 20____.

Devin Yoder, Senior Planner,
Brown County Planning Commission

CERTIFIED SURVEY MAP

SHEET 6 OF 6

PART OF LOT 71 OF THE RECORDED PLAT OF THE SUBDIVISION OF THE
WILLIAM'S GRANT, TOWN OF LAWRENCE, BROWN COUNTY, WISCONSIN

OWNER CERTIFICATE

Thomas P. Perock Family Irrevocable Trust Dated December 24, 2020, as Owner, I hereby certify that I caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented on this Certified Survey Map. I also certify that this Certified Survey Map is required to be submitted to the following for approval:

Town of Lawrence and Brown County

Dated this _____ day of _____, 20____.

Bonnie M. Perock, Trustee
Thomas P. Perock Family Irrevocable Trust

State of Wisconsin)
)ss
_____ County)

Personally appeared before me on the _____ day of _____, 20____, the above named person(s) to me known to be the person(s) who executed the foregoing instrument, and acknowledged the same.

Notary Public
_____ County, Wisconsin

My commission expires _____

UTILITY EASEMENT PROVISIONS:

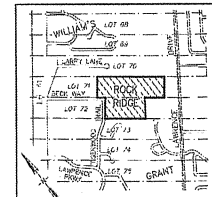
An easement for electric, natural gas, and communications service is hereby granted by Thomas P. Perock Family Irrevocable Trust Dated December 24, 2020, Grantor, to
Wisconsin Public Service Corporation, a Wisconsin corporation, Grantee
Wisconsin Bell Inc., d/b/a AT&T Wisconsin, a Wisconsin Corporation, Grantee
Brown County C-Lec, LLC, Grantee
Charter Telecommunications Operating, LLC, Grantee
TDS Metrocom, LLC, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incidental to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than six inches without written consent of grantees. This Utility Easement Provision does not prevent or prohibit others from utilizing or crossing the Utility Easement as the Utility easement(s) are non-exclusive.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

PRELIMINARY PLAT ROCK RIDGE

ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. _____, RECORDED AS DOCUMENT NO. _____, BEING A PART OF LOT 71 OF THE RECORDED PLAT OF THE SUBDIVISION OF THE WILLIAM'S GRANT; AND ALL OF LOT 3 OF CERTIFIED SURVEY MAP NO. 9471, RECORDED AS DOCUMENT NO. 3004248, BEING A PART OF LOT 72 OF THE RECORDED PLAT OF THE SUBDIVISION OF THE WILLIAM'S GRANT; ALL IN THE TOWN OF LAWRENCE, BROWN COUNTY, WISCONSIN



LOCATION MAP
LOT 71 WILLIAM'S GRANT
TOWN OF LAWRENCE, BROWN COUNTY, WISCONSIN

LINE	DIRECTION	LENGTH
L1	S 89°01'01"W	37.22'
L2	S 39°30'07"W	33.38'
L3	S 71°51'51"W	18.70'
L4	S 23°33'20"E	48.14'
L5	S 23°33'20"E	32.87'
L6	S 23°33'20"E	16.27'
L7	S 65°21'21"E	123.16'
L8	S 33°44'43"E	22.41'
L9	S 04°13'08"E	73.19'
L10	S 37°30'07"E	38.84'
L11	S 27°31'21"E	41.31'
L12	S 33°28'43"E	43.68'
L13	S 48°18'02"E	41.82'
L14	S 14°23'00"E	73.60'
L15	S 55°28'28"E	68.84'

POINT #	ELEVATION	DESCRIPTION
1	540.42	WAS NAIL IN 4" ASH TREE
2	638.65	HIGHWAY TAD BOLT
3	642.84	HIGHWAY TAD BOLT

VERTICAL DATUM
ELEVATIONS ARE REFERENCED TO NGS DATA
CONTROL POINT NAME: 4633
POINT ID: 62784 NAD 83 DATUM BY
GPS OBSERVATION TO ELEVATION = 442.68 (2007
ADJUSTMENT) PER FIELD BOOK 1472 PAGES 1-15,
FIELD BOOK 1581 PAGES 83 AND FIELD BOOK 1594
PAGE 55

POINT #	NORTHING	EASTING	DESCRIPTION
1	62858.75	67698.68	WAS NAIL
2	62753.55	67623.83	WAS NAIL
112	52951.67	69017.77	WAS NAIL

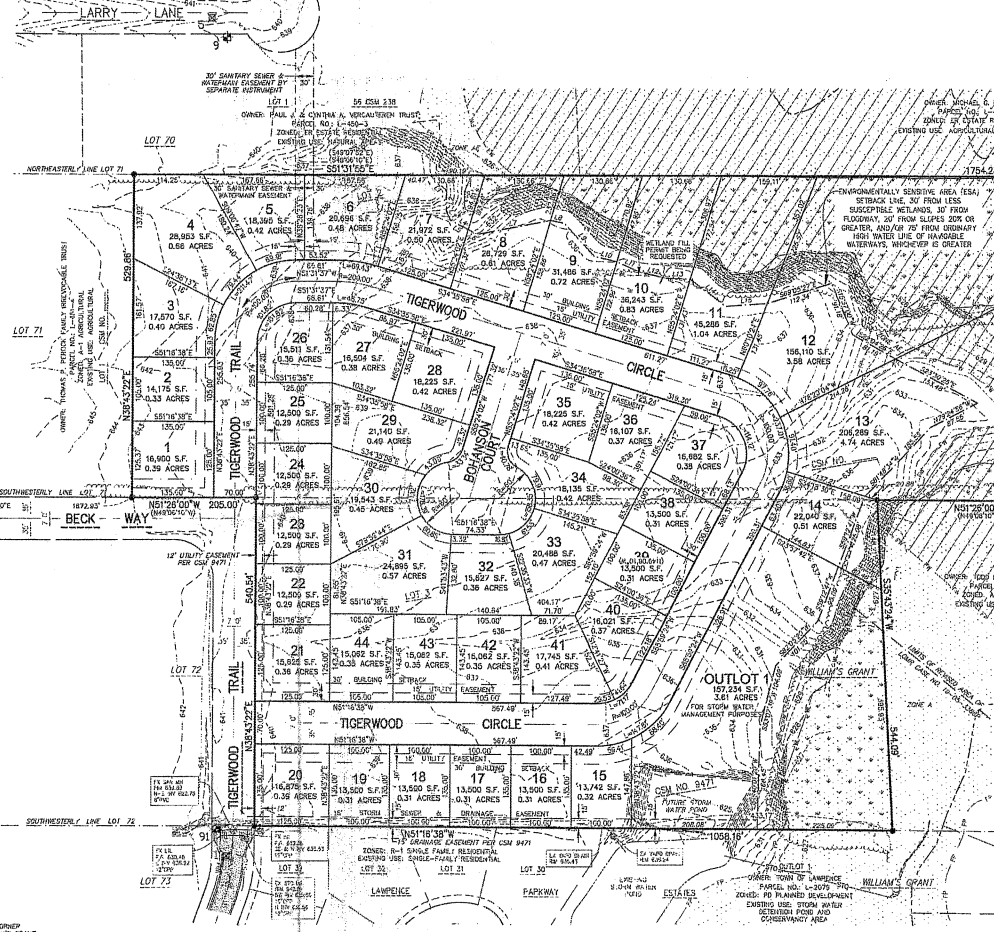
HORIZONTAL DATUM
COORDINATES ARE REFERENCED TO THE
WISCONSIN COUNTY COORDINATE SYSTEM AS
PUBLISHED FOR BROWN COUNTY (81)

OWNER/SUBDIVIDER:
TOWN OF LAWRENCE
2400 SHADY COUNTRY
DE PERE, WI 54115
AND
THOMAS P. PEROCK FAMILY IRREVOCABLE TRUST
1521 SAND ACRES DRIVE
DE PERE, WI 54115
LAND SURVEYOR:
DOUGLAS E. WOELZ
McMAHON ASSOCIATES
1445 McMAHON DRIVE
NEENAH, WISCONSIN 54956
PHONE: 920-751-4200
OBJECTING AUTHORITIES:
- DEPARTMENT OF ADMINISTRATION
APPROVING AUTHORITIES:
- TOWN OF LAWRENCE
- CITY OF DE PERE
- BROWN COUNTY PLANNING COMMISSION

LEGAL DESCRIPTION:
All of Lot 2 of Certified Survey Map No. _____, recorded as Document No. _____, Grant; and
all of Lot 3 of Certified Survey Map No. 9471, recorded as Document No. 3004248, being a
part of Lot 72 of the recorded plat of the Subdivision of the William's Grant all in the
Town of Lawrence, Brown County, Wisconsin, containing 1,498,407 square feet (34.40 acres).

NOTES:
This property is currently Zoned: A-1 Agriculture
Proposed Zoning: Lots 5 through 44 and Outlot 1 = R-1 Residential
Lots 1 through 4 = R-2 Residential
Total area = 1,498,407 s.f. 34.40 acres
Right-of-way area = 201,059 s.f. 4.62 acres
Net subdivided area = 1,297,348 s.f. 29.78 acres
Total number of Lots = 44 Lots 1 Outlots
Average Lot size = 18,517 s.f. 0.42 acres (not including Lots 12, 13 and Outlot 1)
Linear Feet of Tigerwood Trail = 381 l.f.
Linear Feet of Tigerwood Circle = 2,068 l.f.
Linear Feet of Bowman Court = 390 l.f.
Total Linear Feet of Streets = 2,767 l.f.
Proposed roads will be dedicated to use public on the final plat.
Approved utility and drainage easements will be shown on the final plat.
See Utility Plans for existing and proposed utilities.
Sewer and Water service from the Town of Lawrence
Outlot 1 is to be owned & maintained by the Town of Lawrence for Storm Water
Management Purposes.

SURVEYOR'S CERTIFICATE
I, Douglas E. Woelz, hereby certify that this Preliminary Plat is a
correct representation of all existing land divisions and features,
and that I have complied with the preliminary plat requirements
for the Town of Lawrence, City of De Pere and Brown County.
Douglas E. Woelz 8-27-2025
WI Professional Land Surveyor S-2327 Date



LEGEND

- 1.310" O.D. 8" PIPE FOUND
- WAS NAIL FOUND
- COMPUTED LOCATION
- CERTIFIED LAND CORNER
- RECORDED BEARING
- ANGLE DISTANCE
- SQUARE FEET
- VERTICAL CONTROL POINT (BENCHMARK)
- HORIZONTAL CONTROL POINT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER PIPE
- EXISTING STORM SEWER PIPE
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM INLET
- EXISTING STORM YARD DRAIN
- EXISTING HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER MAIN
- EXISTING UTILITY FIDUCIAL
- EXISTING CONTIGUOUS
- EXISTING FENCE
- EXISTING TREE LINE
- ASPHALT PAVEMENT
- CONCRETE
- ROP-RAP
- ENVIRONMENTALLY SENSITIVE AREA (ESA) STEEP SLOPES OF 20% OR GREATER, FIELD LOCATED
- WETLANDS DELINEATED BY WALLY DELANDER OF McMAHON ASSOCIATES DATED AUGUST 4, 2008
- MAPPED FLOODWAY LIMITS FOR LOUW (70 FEMA FPM PANEL NO. 5020090244) CASE NO. 15-02-3388P, EFFECTIVE DATE OF SEPTEMBER 18, 2020
- FLOOD PLAIN, ZONE AE PER LOUW (70 FEMA FPM PANEL NO. 5020090244) CASE NO. 15-02-3388P, EFFECTIVE DATE OF SEPTEMBER 18, 2020
- ENVIRONMENTALLY SENSITIVE AREA (ESA) STRACK LINE
- APPROXIMATE ORDINARY HIGH WATER MARK
- PROPOSED BY UTILITY EASEMENT (UNLESS NOTED OTHERWISE)

BEARINGS ARE REFERENCED TO THE NORTHWESTERLY
LINE OF LOTS 66 THROUGH 78 OF THE SUBDIVISION
OF THE WILLIAM'S GRANT, WHICH BEARS S 37°04'57"W
FOR THE WISCONSIN COUNTY COORDINATE SYSTEM
AS PUBLISHED FOR BROWN COUNTY

SCALE = FEET
1" = 100'

ROCK RIDGE- PRELIMINARY PLAT
PART OF LOTS 71 AND 72 OF THE SUBD. OF THE WILLIAM'S GRANT
TOWN OF LAWRENCE, BROWN COUNTY, WISCONSIN

SURVEYED
DCW
AMS
PROJECT NO.
10017 08-25-00121
DATE
AUGUST 2025
SHEET NO.
1 OF 1



Agenda Item Review

Meeting Date: September 22, 2025

Agenda Item#: 9

TOWN OF LAWRENCE BOARD MEETING STAFF REPORT

REPORT TO: Dr. Lanny Tibaldo, Town Board Chairman, Town Board
REPORT FROM: Patrick Wetzol, Town Administrator
AGENDA ITEM: Consider Award Bid for TID #3 Deep Sanitary Sewer Infrastructure

FISCAL IMPACT:

1. Is there A Fiscal Impact? Yes
2. Is it Currently Budgeted? Yes, via TID and special assessments

Item History

Bids were solicited for the “Deep Sewer” portion of sanitary sewer for TID #3, which has been included in the Phase I improvements section as part of TID planning. The sewer takes the Beno property route in order to utilize gravity flow in lieu of a future lift station.

The bid project is split into two phases:

The portion through the Beno property is subject to Town TID financing.

The portion through Lawrence Grove is intended to be assessed 100% to the property owner/future development.

Two bids were received for the work: PTS Contractors and Vinton Construction.

PTS is the low bidder at \$645,000 in total.

Recommended Action By Town Board

Recommend award TID 3 Sanitary Sewer Infrastructure to the low bidder, PTS Contractors, in the amount of \$645,000.



September 11, 2025

Town of Lawrence
Attn: Patrick Wetzel, Administrator
2400 Shady Court
De Pere, WI 54115

Re: Town of Lawrence
TID #3 Sanitary Sewer Infrastructure
Letter of Recommendation
McM. No. L0017-09-25-00546

Dear Patrick:

On September 10, 2025, bids were received for the TID #3 Sanitary Sewer Infrastructure project. Two bids were received, ranging in price from \$645,000.00 to \$1,113,438.49 (bid tabulation enclosed).

Based upon the bids received, we recommend awarding Contract L0017-09-25-00546 to the low bidder, PTS Contractors, Inc., in the amount of \$645,000.00.

If you agree with our recommendation, please date and sign the enclosed Notices of Award, and return to our office for incorporation into the Contract Documents.

If you have any questions, please feel free to contact me.

Respectfully,

McMahon Associates, Inc.

Matthew J. Greely, P.E.
Executive Vice President E&I Division

MJG:car

Enclosures: Notice of Award
Bid Tabulation

SECTION 00 51 00.00

NOTICE OF AWARD

Dated: _____

To: PTS CONTRACTORS, INC.
4075 Eaton Road
Green Bay, WI 54311

Contract No. L0017-09-25-00546

Project: TID #3 SANITARY SEWER INFRASTRUCTURE
Beno Property Sanitary Sewer | Contract L0017-09-25-00546
Lawrence Town Center Deep Sanitary Sewer | Contract L0017-09-25-00547
For The TOWN OF LAWRENCE | Brown County, Wisconsin

You are notified that your Bid, dated September 10, 2025, for the above Contract has been considered. You are the apparent successful Bidder and have been awarded a Contract for the TID #3 Sanitary Sewer Infrastructure for the Town of Lawrence, Brown County, Wisconsin.

The Contract Price of your Contract is Six Hundred Forty-Five Thousand & no/100Dollars (\$645,000.00).

You must comply with the following conditions precedent within **15-days** of the date of this Notice of Award, that is by _____.

1. You must deliver to the OWNER three (3) fully executed counterparts of the Agreement including all the Contract Documents.
2. You must deliver with the executed Agreement the Contract Security (bonds), as specified in the Instructions to Bidders, General Conditions (Paragraph 5.01) and Supplementary Conditions.
3. You must deliver Insurance Certification complying with the General Conditions and Supplemental Conditions of the Contract Documents.

Failure to comply with these conditions within the time specified will entitle OWNER to consider your Bid abandoned, to annul this Notice of Award and to declare your Bid Security forfeited.

One (1) fully signed counterpart of the Agreement, with the Contract Documents attached, will be returned to you within 15-days after you comply with the above noted conditions.

TOWN OF LAWRENCE | Brown County, Wisconsin

(authorized signature)

(title)

Witness: _____

BID TABULATION

OWNER: TOWN OF LAWRENCE
Project Name: TID #3 Sanitary Sewer Infrastructure
Contract No. L0017-09-25-00546
Bid Date/Time: September 10, 2025 @ 11:00 a.m.
Project Manager: Matt Greely, PE

Engineer: McMAHON ASSOCIATES, INC.
1445 McMahon Drive
PO Box 1025
Neenah, WI 54956 / 54957-1025

PTS CONTRACTORS, INC.
4075 Eaton Road
Green Bay, WI 54311

VINTON CONSTRUCTION CO.
1322 33RD Street
PO Box 137
Two Rivers, WI 54241

BASE BID A | BENO SANITARY SEWER

Item	Qty	Unit	Description
A-1	1,358	L.F.	10 Inch Sanitary Sewer (SDR-26)
A-2	105	V.F.	4 Foot Diameter Sanitary Manhole
A-3	2,770	L.F.	Silt Fence
A-4	7	Ea.	Ditch Checks
A-5	1	Ea.	Tracking Pat with Temporary Culvert and Endwalls
A-6	1.8	Ac.	Clearing and Grubbing
A-7	1	L.S.	Restoration (Topsoil, Seed, Fertilizer, Mulch) (Estimated 2.2 Ac.)
A-8	1	L.S.	Traffic Control
TOTAL (Items A-1 through A-8, Inclusive)			

Unit Price	Total
\$146.00	\$198,268.00
\$615.00	\$64,575.00
\$2.30	\$6,371.00
\$96.00	\$672.00
\$1,600.00	\$1,600.00
\$12,750.00	\$22,950.00
\$11,136.00	\$11,136.00
\$2,900.00	\$2,900.00
\$308,472.00	

Unit Price	Total
\$182.14	\$247,346.12
\$1,248.00	\$131,040.00
\$3.35	\$9,279.50
\$100.00	\$700.00
\$2,605.00	\$2,605.00
\$19,444.44	\$34,999.99
\$72,900.00	\$72,900.00
\$60,000.00	\$60,000.00
\$558,870.61	

BASE BID B | LAWRENCE GROVE AVENUE SANITARY SEWER

Item	Qty	Unit	Description
B-1	1,474	L.F.	10 Inch Sanitary Sewer (SDR-26)
B-2	110	L.F.	8 Inch Sanitary Sewer
B-3	380	L.F.	4 Inch Sanitary Laterals
B-4	120	L.F.	4 Inch Sanitary Risers
B-5	42.6	V.F.	4 Foot Diameter Sanitary Manhole
B-6	111.2	V.F.	4 Foot Diameter Outside Drop Sanitary Manhole
TOTAL (Items B-1 through B-6, Inclusive)			

Unit Price	Total
\$116.00	\$170,984.00
\$60.00	\$6,600.00
\$50.00	\$19,000.00
\$126.00	\$15,120.00
\$620.00	\$26,412.00
\$885.00	\$98,412.00
\$336,528.00	

Unit Price	Total
\$184.02	\$271,245.48
\$165.94	\$18,253.40
\$124.17	\$47,184.60
\$66.33	\$7,959.60
\$1,336.00	\$56,913.60
\$1,376.00	\$153,011.20
\$554,567.88	

TOTAL

\$645,000.00

\$1,113,438.49

Bid Security	10% Bid Bond	10% Bid Bond
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Landscaping/Erosion

Subcontractor
Pleasant Knoll Landscapers

Subcontractor
N/A



Agenda Item Review

Meeting Date: 9/22/2025

Agenda Item#: 10

TOWN OF LAWRENCE BOARD MEETING STAFF REPORT

REPORT TO: Dr. Lanny Tibaldo, Town Board Chairman, Town Board
REPORT FROM: Patrick Wetzel, Town Administrator
AGENDA ITEM: Pay Request #10 – PTS Contractors – Mid Valley Contract- Torchwood/Beck

FISCAL IMPACT:

1. Is there A Fiscal Impact? Yes
2. Is it Currently Budgeted? Yes

Item History: PTS Contractors is working through the Torchwood Extension and Tigerwood/Beck Way project work within the Mid Valley Contract scope and have submitted their tenth pay request of \$103,266.08

McMahon has reviewed all documents and has approved moving forward with this pay request payment.

Recommended Action: Recommend approval of Pay Request #10 to PTS Contractors - Mid Valley Contract – Torchwood/Beck Way in the amount of \$103,266.08



September 18, 2025

Town of Lawrence
2400 Shady Court
De Pere, WI 54115

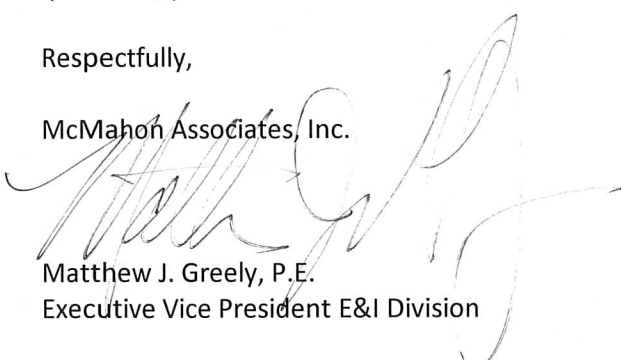
Re: Town of Lawrence
Mid Valley Drive Utility Relocation
Certificate for Payment #10
McM. No. L0017-09-23-00254

Enclosed herewith is Certificate for Payment #10 for the above referenced project. This Certificate is issued to PTS Contractors, Inc. in the amount of \$103,266.08 for partial payment for work performed through September 12, 2025.

Please process the enclosed, and forward payment to PTS Contractors, Inc. Should you have any questions, please contact our office at your convenience.

Respectfully,

McMahon Associates, Inc.


Matthew J. Greely, P.E.
Executive Vice President E&I Division

MJG:car

cc: PTS Contractors, Inc.

Enclosure: Certificate for Payment #10

**CERTIFICATE FOR
PAYMENT**

TOWN OF LAWRENCE
2400 Shady Court
De Pere, WI 54115

Contract No. L0017-09-23-00254
Project File No. L0017-09-23-00254
Certificate No. Ten (10)
Issue Date: September 18, 2025
Project: Town of Lawrence
Mid Valley Drive Utility Relocation

This Is To Certify That, In Accordance With The Contract Documents Dated: March 29, 2024

PTS CONTRACTORS, INC.
4075 Eaton Road
Green Bay, WI 54311

Is Entitled To Partial Payment For Work Performed Through: September 12, 2025

- ☒ Contractor's Application for Payment Attached
☒ Itemized Cost Breakdown Attached

Original Contract	<u>\$894,964.00</u>
Net Change Orders	<u>+ \$1,901,112.64</u>
Current Contract Amount	<u>\$2,796,076.64</u>

Completed To Date	<u>\$2,669,944.53</u>
Retainage 2.5%	<u>\$69,901.92</u>
Subtotal	<u>\$2,600,042.61</u>
Previously Certified	<u>\$2,496,776.53</u>

Amount Due This Payment: \$103,266.08

Please process and forward payment to PTS CONTRACTORS, INC.

Certified By:

McMAHON ASSOCIATES, INC.
Neenah, Wisconsin

Matthew J. Greely, P.E.

Executive Vice President E&I Division

PAY CERTIFICATION #10

OWNER: TOWN OF LAWRENCE
 Project Name: Mid Valley Drive Utility Relocation
 Contract No. U0017-09-23-00254
 Bld Date/Time: March 7, 2023 @ 11:00 a.m.
 Project Manager: Matt Greely, PE

Engineer: McMAHON ASSOCIATES, INC.
 1445 McMahon Drive
 PO Box 1025
 Neenah, WI 54956 / 54957-1025

PTS CONTRACTORS, INC.
 4075 Eaton Road
 Green Bay, WI 54311

Item	Qty	Unit	Description	Unit Price	Total	Previous Requests		9/12/2025 This Request		Completed To Date	
						Qty	Total	Qty	Total	Qty	Total
1.	1	L.S.	Traffic Control	\$10,835.75	\$10,835.75	1	\$10,835.75	0	\$0.00	1	\$10,835.75
2.	1	L.S.	Erosion Control (Silt Fence, Ditch Checks, Tracking Pad, E-Mat, Etc.)	\$10,095.00	\$10,095.00	1	\$10,095.00	0	\$0.00	1	\$10,095.00
3.	1	L.S.	Restoration - Temporary Seed (Est. 12,000 S.Y.)	\$3,265.00	\$3,265.00	1	\$3,265.00	0	\$0.00	1	\$3,265.00
4.	1,153	L.F.	10 Inch Sanitary Sewer	\$59.00	\$68,027.00	1174	\$69,266.00	0	\$0.00	1174	\$69,266.00
5.	1,180	L.F.	10 Inch Sanitary Sewer SDR-26	\$137.00	\$161,660.00	1181	\$161,797.00	0	\$0.00	1181	\$161,797.00
6.	1,125	L.F.	8 Inch Sanitary Sewer	\$50.50	\$56,812.50	1131	\$57,115.50	0	\$0.00	1131	\$57,115.50
7.	355	L.F.	6 Inch Sanitary Lateral	\$57.00	\$20,235.00	351	\$20,007.00	0	\$0.00	351	\$20,007.00
8.	20	L.F.	6 Inch Sanitary Riser	\$184.00	\$3,680.00	16	\$2,944.00	0	\$0.00	16	\$2,944.00
9.	224.6	V.F.	4 Foot Diameter Sanitary Manhole	\$665.00	\$149,359.00	223.74	\$148,787.10	0	\$0.00	223.74	\$148,787.10
10.	4.85	V.F.	Outside Drop Manhole	\$855.00	\$4,146.75	4.98	\$4,257.90	0	\$0.00	4.98	\$4,257.90
11.	4	Ea.	Clay Dam	\$1,160.00	\$4,640.00	4	\$4,640.00	0	\$0.00	4	\$4,640.00
12.	1,300	L.F.	Additional Pipe Bedding (for Unstable Subgrade)	\$0.01	\$13.00	0	\$0.00	0	\$0.00	0	\$0.00
13.	1,700	L.F.	Slurry or Flowable Fill / Abandon Sewer	\$5.10	\$8,670.00	1700	\$8,670.00	0	\$0.00	1700	\$8,670.00
14.	4	Ea.	Abandon / Remove Manhole	\$580.00	\$2,320.00	4	\$2,320.00	0	\$0.00	4	\$2,320.00
15.	3,200	L.F.	12 Inch Water Main	\$76.00	\$243,200.00	3231	\$245,556.00	0	\$0.00	3231	\$245,556.00
16.	230	L.F.	8 Inch Water Main	\$55.00	\$12,650.00	103	\$5,665.00	0	\$0.00	103	\$5,665.00
17.	160	L.F.	6 Inch Water Main	\$62.00	\$9,920.00	172	\$10,664.00	0	\$0.00	172	\$10,664.00
18.	8	Ea.	12 Inch Resilient Wedge Gate Valve	\$4,715.00	\$37,720.00	8	\$37,720.00	0	\$0.00	8	\$37,720.00
19.	1	Ea.	8 Inch Resilient Wedge Gate Valve	\$2,705.00	\$2,705.00	1	\$2,705.00	0	\$0.00	1	\$2,705.00
20.	6	Ea.	6 Inch Resilient Wedge Gate Valve	\$1,975.00	\$11,850.00	6	\$11,850.00	0	\$0.00	6	\$11,850.00
21.	7	Ea.	Hydrant	\$5,730.00	\$40,110.00	7	\$40,110.00	0	\$0.00	7	\$40,110.00
22.	6	Ea.	6 Inch Hydrant Lead Bends	\$425.00	\$2,550.00	6	\$2,550.00	0	\$0.00	6	\$2,550.00
23.	1	Ea.	Remove Hydrant	\$580.00	\$580.00	1	\$580.00	0	\$0.00	1	\$580.00
24.	2	Ea.	Remove Valve	\$175.00	\$350.00	2	\$350.00	0	\$0.00	2	\$350.00
25.	1,700	L.F.	Slurry or Flowable Fill / Abandon Water Main	\$5.10	\$8,670.00	1700	\$8,670.00	0	\$0.00	1700	\$8,670.00
26.	1	Ac.	Tree Removal	\$8,665.00	\$8,665.00	1	\$8,665.00	0	\$0.00	1	\$8,665.00
27.	1	Ac.	Grubbing	\$12,235.00	\$12,235.00	1	\$12,235.00	0	\$0.00	1	\$12,235.00
TOTAL (Items 1. through 27., Inclusive)					\$894,964.00		\$891,320.25		\$0.00		\$891,320.25

CHANGE ORDER

Item	Qty	Unit	Description	Bid Quantities		Previous Requests		This Request		Completed To Date	
				Unit Price	Total	Qty	Total	Qty	Total	Qty	Total
1.1	1	LS	Field Locate WM	\$5,650.00	\$5,650.00	1	\$5,650.00	0	\$0.00	1	\$5,650.00
2.1			Extend Sanitary Sewer and Water Main to Detrie/Krawczyk								
	1	LS	Erosion Control	\$3,950.00	\$3,950.00	1	\$3,950.00	0	\$0.00	1	\$3,950.00
	1	LS	Restoration - Temp Seed	\$1,850.00	\$1,850.00	1	\$1,850.00	0	\$0.00	1	\$1,850.00
	641	LF	8 Inch San Sewer	\$50.50	\$32,370.50	641	\$32,370.50	0	\$0.00	641	\$32,370.50
	41.29	VF	4 Foot Dia San Manhole	\$665.00	\$27,457.85	41.29	\$27,457.85	0	\$0.00	41.29	\$27,457.85
	617	LF	8 Inch Water Main	\$55.00	\$33,935.00	617	\$33,935.00	0	\$0.00	617	\$33,935.00
	7	LF	6 Inch Water Main	\$62.00	\$434.00	7	\$434.00	0	\$0.00	7	\$434.00
	1	Ea	8 Inch GV	\$2,705.00	\$2,705.00	1	\$2,705.00	0	\$0.00	1	\$2,705.00
	1	Ea	6 Inch GV	\$1,975.00	\$1,975.00	1	\$1,975.00	0	\$0.00	1	\$1,975.00
	1	Ea	Hydrant	\$5,730.00	\$5,730.00	1	\$5,730.00	0	\$0.00	1	\$5,730.00
					\$110,407.35		\$110,407.35		\$0.00		\$110,407.35

C.O. 3 Tigerwood Trail/Beck Way

A-01	1,816.00	L.F.	8 Inch Sanitary Sewer	\$47.00	\$85,352.00	1789	\$84,083.00	0	\$0.00	1789	\$84,083.00
A-02	307.00	L.F.	6 Inch Sanitary Lateral	\$42.00	\$12,894.00	350	\$14,700.00	0	\$0.00	350	\$14,700.00
A-03	43.00	L.F.	6 Inch Sanitary Riser	\$55.00	\$2,365.00	41.88	\$2,303.40	0	\$0.00	41.88	\$2,303.40
A-04	97.00	V.F.	4 Foot Diameter Sanitary Manhole	\$580.00	\$56,260.00	96.83	\$56,161.40	0	\$0.00	96.83	\$56,161.40
A-05	680.00	L.F.	12 Inch Water Main	\$80.00	\$54,400.00	702.5	\$56,200.00	0	\$0.00	702.5	\$56,200.00
A-06	2.00	Ea.	12 Inch Resilient Wedge Gate Valve	\$4,720.00	\$9,440.00	2	\$9,440.00	0	\$0.00	2	\$9,440.00
A-07	70.00	L.F.	8 Inch Water Main	\$58.00	\$4,060.00	0	\$0.00	0	\$0.00	0	\$0.00
A-08	1.00	Ea.	8 Inch Resilient Wedge Gate Valve	\$2,675.00	\$2,675.00	0	\$0.00	0	\$0.00	0	\$0.00
A-09	1.00	Ea.	8 Inch Connection to 12 Inch Water Main	\$2,900.00	\$2,900.00	1	\$2,900.00	0	\$0.00	1	\$2,900.00
A-10	13.00	L.F.	6 Inch Water Main	\$62.00	\$806.00	14.5	\$899.00	0	\$0.00	14.5	\$899.00
A-11	1.00	Ea.	6 Inch Resilient Wedge Gate Valve	\$1,950.00	\$1,950.00	1	\$1,950.00	0	\$0.00	1	\$1,950.00
A-12	1.00	Ea.	Hydrant	\$5,645.00	\$5,645.00	1	\$5,645.00	0	\$0.00	1	\$5,645.00
A-13	1.00	Ea.	Relocate Hydrant and Valve	\$1,260.00	\$1,260.00	1	\$1,260.00	0	\$0.00	1	\$1,260.00
A-14	342.00	L.F.	24 Inch Storm Sewer	\$52.00	\$17,784.00	343	\$17,836.00	0	\$0.00	343	\$17,836.00
A-15	315.00	L.F.	18 Inch Storm Sewer	\$43.00	\$13,545.00	315	\$13,545.00	0	\$0.00	315	\$13,545.00
A-16	126.00	L.F.	15 Inch Storm Sewer	\$53.00	\$6,678.00	112	\$5,936.00	0	\$0.00	112	\$5,936.00
A-17	130.00	L.F.	18 Inch RCP Culvert	\$47.00	\$6,110.00	130.5	\$6,133.50	0	\$0.00	130.5	\$6,133.50
A-18	2.00	Ea.	18 Inch RCP Endwall	\$996.00	\$1,992.00	2	\$1,992.00	0	\$0.00	2	\$1,992.00
A-19	1.00	Ea.	24 Inch Endwall	\$600.00	\$600.00	1	\$600.00	0	\$0.00	1	\$600.00
A-20	4.00	Ea.	Inlet	\$2,540.00	\$10,160.00	4	\$10,160.00	0	\$0.00	4	\$10,160.00
A-21	4.00	Ea.	Inlet Protection	\$137.00	\$548.00	4	\$548.00	0	\$0.00	4	\$548.00
A-22	12.00	V.F.	48 Inch Diameter Storm Manhole	\$620.00	\$7,440.00	11.9	\$7,378.00	0	\$0.00	11.9	\$7,378.00
A-23	5.32	V.F.	60 Inch Diameter Storm Manhole	\$965.00	\$5,133.80	5.32	\$5,133.80	0	\$0.00	5.32	\$5,133.80
A-24	1.00	L.S.	Roadway Excavation (Estimated 2,000 C.Y.)	\$23,365.00	\$23,365.00	1	\$23,365.00	0	\$0.00	1	\$23,365.00
A-25	366.00	TON	2-1/2 Inch Asphaltic Pavement, Lower Layer (3 LT 58-28S)	\$86.00	\$31,476.00	397.85	\$34,215.10	0	\$0.00	397.85	\$34,215.10
A-26	2.00	Ea.	Density Testing	\$153.00	\$306.00	0	\$0.00	0	\$0.00	0	\$0.00
A-27	2,058.00	TON	Base Aggregate Dense 1-1/4 Inch (4,525 S.Y.)	\$15.30	\$31,487.40	1577.96	\$24,142.79	0	\$0.00	1577.96	\$24,142.79
A-28	1,850.00	TON	Base Aggregate Dense 3 Inch (3,700 S.Y.)	\$15.30	\$28,305.00	2034.46	\$31,127.24	0	\$0.00	2034.46	\$31,127.24
A-29	491.00	C.Y.	Excavation Below Subgrade (EBS) and Replacement with Breaker Run	\$36.70	\$18,019.70	18.88	\$692.90	0	\$0.00	18.88	\$692.90
A-30	1,108.00	L.F.	Concrete Curb and Gutter 30 Inch	\$17.75	\$19,667.00	1032	\$18,318.00	0	\$0.00	1032	\$18,318.00
A-31	0.60	Ac.	Clearing and Grubbing	\$12,750.00	\$7,650.00	0.6	\$7,650.00	0	\$0.00	0.6	\$7,650.00
A-32	40.00	Ea.	Ditch Checks	\$255.00	\$10,200.00	0	\$0.00	0	\$0.00	0	\$0.00
A-33	1.00	L.S.	E-Mat Class I Type B (Estimated 3,500 S.Y.)	\$6,425.00	\$6,425.00	1	\$6,425.00	0	\$0.00	1	\$6,425.00
A-34	1,228.00	L.F.	Temporary Ditch Grading	\$5.60	\$6,876.80	1228	\$6,876.80	0	\$0.00	1228	\$6,876.80
A-35	2,226.00	L.F.	Permanent Ditch Grading	\$7.80	\$17,362.80	2226	\$17,362.80	0	\$0.00	2226	\$17,362.80
A-36	1.00	L.S.	Terrace Restoration (Topsoil, Seed, Fertilizer, Mulch) In Right-of-Way (Estimated 2,400 S.Y.)	\$2,566.50	\$2,566.50	1	\$2,566.50	0	\$0.00	1	\$2,566.50
A-37	1.00	L.S.	Grading and Restoration (12 Feet Beyond Right-of-Way) for Utility Easement (Temporary Seed, Fertilizer and Mulch)	\$8,140.00	\$8,140.00	1	\$8,140.00	0	\$0.00	1	\$8,140.00
A-38	55.00	C.Y.	Medium Rip Rap (with Type HR Fabric)	\$73.00	\$4,015.00	66.5	\$4,854.50	0	\$0.00	66.5	\$4,854.50
A-39	2.00	Ea.	Tracking Pad	\$1,070.00	\$2,140.00	0	\$0.00	0	\$0.00	0	\$0.00
					\$528,000.00		\$490,540.72		\$0.00		\$490,540.72

C.O. 4 Torchwood Trail										
A-01	1,727.00	L.F. 8 Inch Sanitary Sewer	\$46.00	\$79,442.00	1727	\$79,442.00	0	\$0.00	1727	\$79,442.00
A-02	1,045.00	L.F. 4 Inch Sanitary Laterals	\$32.00	\$33,440.00	1076.5	\$34,448.00	0	\$0.00	1076.5	\$34,448.00
A-03	59.00	V.F. 4 Foot Diameter Sanitary Manhole	\$575.00	\$33,925.00	59.28	\$34,086.00	0	\$0.00	59.28	\$34,086.00
A-04	1,800.00	L.F. 8 Inch Water Main	\$48.00	\$86,400.00	1796.5	\$86,232.00	0	\$0.00	1796.5	\$86,232.00
A-05	4.00	Ea. 8 Inch Resilient Wedge Gate Valve	\$2,675.00	\$10,700.00	4	\$10,700.00	0	\$0.00	4	\$10,700.00
A-06	30.00	L.F. 6 Inch Water Main	\$56.00	\$1,680.00	31.75	\$1,778.00	0	\$0.00	31.75	\$1,778.00
A-07	4.00	Ea. 6 Inch Resilient Wedge Gate Valve	\$1,945.00	\$7,780.00	3	\$5,835.00	0	\$0.00	3	\$5,835.00
A-08	4.00	Ea. Hydrant	\$5,640.00	\$22,560.00	4	\$22,560.00	0	\$0.00	4	\$22,560.00
A-09	901.00	L.F. 1 Inch Poly Water Service	\$26.00	\$23,426.00	874.5	\$22,737.00	0	\$0.00	874.5	\$22,737.00
A-10	23.00	Ea. 1 Inch Water Service Set	\$529.00	\$12,167.00	22	\$11,638.00	0	\$0.00	22	\$11,638.00
A-11	519.00	L.F. 48 Inch Storm Sewer	\$127.00	\$65,913.00	519	\$65,913.00	0	\$0.00	519	\$65,913.00
A-12	325.00	L.F. 36 Inch Storm Sewer	\$84.00	\$27,300.00	322	\$27,048.00	0	\$0.00	322	\$27,048.00
A-13	1,170.00	L.F. 30 Inch Storm Sewer	\$71.00	\$83,070.00	1183	\$83,993.00	0	\$0.00	1183	\$83,993.00
A-14	681.00	L.F. 24 Inch Storm Sewer	\$57.00	\$38,817.00	679	\$38,703.00	60	\$3,420.00	739	\$42,123.00
A-15	221.00	L.F. 18 Inch Storm Sewer	\$50.00	\$11,050.00	222	\$11,100.00	0	\$0.00	222	\$11,100.00
A-16	463.00	L.F. 15 Inch Storm Sewer	\$40.00	\$18,520.00	477	\$19,080.00	0	\$0.00	477	\$19,080.00
A-17	187.00	L.F. 12 Inch Storm Sewer	\$50.00	\$9,350.00	182.5	\$9,125.00	0	\$0.00	182.5	\$9,125.00
A-18	1.00	Ea. 24 Inch Endwall	\$398.00	\$398.00	1	\$398.00	0	\$0.00	1	\$398.00
A-19	10.00	Ea. Inlet	\$2,425.00	\$24,250.00	9	\$21,825.00	2	\$4,850.00	11	\$26,675.00
A-20	18.00	Ea. Inlet Protection Type A	\$138.00	\$2,484.00	18	\$2,484.00	0	\$0.00	18	\$2,484.00
A-21	1,198.00	L.F. 4 Inch Storm Lateral	\$29.00	\$34,742.00	1195	\$34,655.00	0	\$0.00	1195	\$34,655.00
A-22	60.00	V.F. 48 Inch Diameter Storm Manholes	\$626.00	\$37,560.00	41.91	\$26,235.66	0	\$0.00	41.91	\$26,235.66
A-23	7.00	V.F. 60 Inch Diameter Storm Manholes	\$868.00	\$6,076.00	26.45	\$22,958.60	0	\$0.00	26.45	\$22,958.60
A-24	28.00	V.F. 72 Inch Diameter Storm Manholes	\$1,120.00	\$31,360.00	14.97	\$16,766.40	0	\$0.00	14.97	\$16,766.40
A-25	10.00	Ea. 84 Inch Diameter Storm Manholes	\$1,175.00	\$11,750.00	30.27	\$35,567.25	0	\$0.00	30.27	\$35,567.25
A-26	4.00	L.S. Yard Drain	\$2,495.00	\$9,980.00	2	\$4,990.00	0	\$0.00	2	\$4,990.00
A-27	1.00	TON Roadway Excavation (Estimated 5,000 C.Y.)	\$95,790.00	\$95,790.00	1	\$95,790.00	0	\$0.00	1	\$95,790.00
A-28	922.00	Ea. 2-1/2 Inch Asphaltic Pavement, Lower Layer (3 LT 58-285)	\$83.00	\$76,526.00	0	\$0.00	759.46	\$63,035.18	759.46	\$63,035.18
A-29	6.00	Ea. Density Testing	\$152.00	\$912.00	0	\$0.00	0	\$0.00	0	\$0.00
A-30	2,235.00	TON Base Aggregate Dense 1-1/4 Inch	\$15.30	\$34,195.50	2637.35	\$40,351.46	20.98	\$320.99	2658.33	\$40,672.45
A-31	3,352.00	TON Base Aggregate Dense 3 Inch	\$15.30	\$51,285.60	4162.47	\$63,685.79	0	\$0.00	4162.47	\$63,685.79
A-32	1,250.00	C.Y. Excavation Below Subgrade (EBS)	\$35.00	\$43,750.00	360	\$12,600.00	0	\$0.00	360	\$12,600.00
A-33	3,752.00	L.F. Concrete Curb and Gutter 30 Inch	\$17.70	\$66,410.40	3740	\$66,198.00	0	\$0.00	3740	\$66,198.00
A-34	1,800.00	L.F. Silt Fence	\$2.10	\$3,780.00	1723	\$3,618.30	0	\$0.00	1723	\$3,618.30
A-35	0.03	Ac. Clearing and Grubbing	\$12,735.00	\$382.05	0.03	\$382.05	0	\$0.00	0.03	\$382.05
A-36	2.00	Ea. Ditch Checks	\$255.00	\$510.00	0	\$0.00	0	\$0.00	0	\$0.00
A-37	1.00	L.S. E-Mat Class I Type B (Estimated at 35 S.Y.)	\$89.00	\$89.00	0	\$0.00	0	\$0.00	0	\$0.00
A-38	1.00	L.S. Terrace Restoration (Topsoil, Seed, Fertilizer, Mulch) in Right-of-Way (Estimated 8,200 S.Y.)	\$25,872.85	\$25,872.85	0	\$0.00	0.55	\$14,230.07	0.55	\$14,230.07
A-39	1.00	L.S. Grading and Restoration (12 Feet Beyond Right-of-Way) for Utility Easement (Temporary Seed, Fertilizer and Mulch)	\$12,655.00	\$12,655.00	0	\$0.00	0.65	\$8,225.75	0.65	\$8,225.75
A-40	937.00	L.F. Grading and Restoration of Primary Drainage Swales	\$10.80	\$10,119.60	300	\$3,240.00	402.75	\$4,349.70	702.75	\$7,589.70
A-41	22.00	Ac. Internal Lot Restoration with Alfalfa Mix	\$611.00	\$13,442.00	0	\$0.00	0	\$0.00	0	\$0.00
A-42	2.00	Ea. Tracking Pad	\$1,070.00	\$2,140.00	0	\$0.00	0	\$0.00	0	\$0.00
			\$1,162,000.00		\$1,016,163.51		\$98,431.69		\$1,114,595.20	
C.O. 5 Fuse Pipe and Relocate WM on Mid Valley										
5.1	1 LS	Fusing Pipe and Crew Relocated 6 Inch Water Main	18931.01	\$18,931.01	1	\$18,931.01	0	\$0.00	1	\$18,931.01
			\$18,931.01		\$18,931.01		\$0.00		\$18,931.01	
C.O. 6 Fuse Pipe and Relocate WM on Mid Valley										
6.1	1 Ea	MDG25 w/ Super Start Alternator (trailer mounted generator)	38500	\$38,500.00	0.85	\$32,725.00	0.15	\$5,775.00	1	\$38,500.00
			\$38,500.00		\$32,725.00		\$5,775.00		\$38,500.00	
C.O. 7 use of Geo Grid due to wet soils										
7.1	623.3 S.Y.	sta 221+00-223+10 full width	2.63	\$1,639.28	0	\$0.00	0	\$0.00	0	\$0.00
			\$1,639.28		\$0.00		\$0.00		\$0.00	
C.O. 8 Sports Emporium/Rugby parking										
8.1	1 L.S.	Trim Subgrade and Proof Roll	1335	\$1,335.00	0	\$0.00	0	\$0.00	0	\$0.00
8.2	2100 Ton	Place Stone Breaker & 3/4" (paid by tickets)	16.5	\$34,650.00	0	\$0.00	0	\$0.00	0	\$0.00
			\$35,985.00		\$0.00		\$0.00		\$0.00	
TOTAL CHANGE ORDER			\$1,901,112.64		\$1,674,417.59		\$104,206.69		\$1,778,624.28	
CURRENT CONTRACT TOTAL			\$2,796,076.64		\$2,565,737.84		\$104,206.69		\$2,669,944.53	
original contract			\$894,964.00							

Completed to Date:	\$2,669,944.53
Retainage 2.5%	\$69,901.92
Subtotal:	\$2,600,042.61
Previous Application:	\$2,496,776.53
Amount Due This Application:	\$103,266.08

Payment Request

Request for: Partial Payment No: 10 Date: 9/12/2025
(Partial/Final)

Project: Mid Valley Drive Utility Relocation

Owner: Town of Lawrence

Contractor: PTS Contractors, Inc. - 4075 Eaton Road - Green Bay, WI 54311

Original Contract Amount as Bid: \$ 894,964.00

Net Add (Deduct) by Revised Quantities: _____

Net Add (Deduct) by Change Order: \$ 1,863,488.36

Total Contract This Date \$ 2,758,452.36

Value of Work Completed to Date: \$ 2,669,944.54

Less 5 Per Cent Retainage: (Of the first 50%) \$ 68,961.31

Net Total \$ 2,600,983.23

Project on Schedule: XX Yes No 97% Complete

Record of Previous Pay Requests:

1 \$ 178,246.34	6 \$ 449,184.04
2 \$ 437,864.22	7 \$ 105,585.66
3 \$ 352,211.51	8 \$ 67,626.90
4 \$ 363,866.42	9 \$ 276,894.79
5 \$ 265,296.66	10 _____

Amount Previously Billed \$ 2,496,776.54

Amount Due This Request \$ 104,206.69

This is to certify that, in accordance with the terms of the Contract, the Contractor is entitled to a payment in the amount requested.

By: Cary W. Adelman

PTS Contractors, Inc.

Date: 9/12/2025

*See Attachments

Engineers Approval: By: _____

Owner's Approval
for Payment: By: _____

IN COO = 967,8
2796076.68
68906.92
103,266.08

PTS Contractors, Inc.
4075 Eaton Road - Green Bay, WI 54311
Phone: (920) 488-5217 Fax: (920) 488-4087

Town of Lawrence
Mid Valley Drive Utility Relocation

Payment Request: 10
Date: 9/12/2025

Phone: (920) 488-5217 / Fax: (920) 488-4087			Payment Request						Total Completed						\$2,669,944.54			
Bid Item #	Description	Units	Scheduled			Previous Request Totals			This Request Totals			Completed to Date			Balance to Finish			
			Qty	Unit Price	Amount	Qty	Amount		Qty	Amount	%	Qty	Amount	Amount	Qty			
1	Traffic Control	LS	1	\$	10,835.75	\$	10,835.75	1.00	\$	10,835.75	\$	-	100%	1.00	\$	10,835.75	\$	-
2	Erosion Control (Silt Fence, Ditch Checks, Tracking Pad, E-Mat, Etc.)	LS	1	\$	10,095.00	\$	10,095.00	1.00	\$	10,095.00	\$	-	100%	1.00	\$	10,095.00	\$	-
3	Restoration - Temporary Seed (Est. 12,000 s.y.)	LS	1	\$	3,265.00	\$	3,265.00	1.00	\$	3,265.00	\$	-	100%	1.00	\$	3,265.00	\$	-
4	10 inch Sanitary Sewer	LF	1,153	\$	59.00	\$	68,027.00	1,174.00	\$	69,266.00	\$	-	102%	1,174.00	\$	69,266.00	\$	(1,239.00)
5	10 inch Sanitary Sewer SDR-26	LF	1,180	\$	137.00	\$	161,660.00	1,181.00	\$	161,797.00	\$	-	100%	1,181.00	\$	161,797.00	\$	(137.00)
6	8 inch Sanitary Sewer	LF	1,125	\$	50.50	\$	56,812.50	1,131.00	\$	57,115.50	\$	-	101%	1,131.00	\$	57,115.50	\$	(303.00)
7	6 inch Sanitary Lateral	LF	355	\$	57.00	\$	20,235.00	351.00	\$	20,007.00	\$	-	99%	351.00	\$	20,007.00	\$	228.00
8	6 inch Sanitary Riser	LF	20	\$	184.00	\$	3,680.00	16.00	\$	2,944.00	\$	-	80%	16.00	\$	2,944.00	\$	736.00
9	4 Foot Diameter Sanitary Manhole	VF	225	\$	665.00	\$	149,355.00	223.74	\$	148,787.10	\$	-	100%	223.74	\$	148,787.10	\$	571.90
10	Outside Drop Manhole	VF	5	\$	855.00	\$	4,146.75	4.98	\$	4,257.90	\$	-	103%	4.98	\$	4,257.90	\$	(111.15)
11	Clay Dam	EA	4	\$	1,160.00	\$	4,640.00	4.00	\$	4,640.00	\$	-	100%	4.00	\$	4,640.00	\$	-
42	Additional Pipe Bedding (for Unstable Subgrade)	LF	4,300	\$	0.04	\$	13.00		\$		\$	-			\$	13.00	\$	1,300.00
13	Slurry or Flowable Fill / Abandon Sewer	LF	1,700	\$	5.10	\$	8,670.00	1,700.00	\$	8,670.00	\$	-	100%	1,700.00	\$	8,670.00	\$	-
14	Abandon / Remove Manhole	EA	4	\$	580.00	\$	2,320.00	4.00	\$	2,320.00	\$	-	100%	4.00	\$	2,320.00	\$	-

Total Completed \$2,669,944.54

PTS Contractors, Inc.
4075 Eaton Road - Green Bay, WI 54311
Phone: (920) 468-5217-Fax: (920) 468-4087

Town of Lawrence
Mid Valley Drive Utility Relocation
Payment Request

Payment Request: 10
Date: 9/12/2025

Payment Request										Total Completed						
Phone#: (920) 468-5217, Fax#: (920) 468-1087										\$2,689,944.54						
Bid			Scheduled				Previous		Request Totals		This Request Totals		Completed to Date		Balance to Finish	
Item #	Description	Units	Qty	Unit Price	Amount	Qty	Amount	Qty	Amount	Qty	Amount	%	Qty	Amount	Amount	Qty
15	12 inch Water Main	LF	3,200	\$ 76.00	\$ 243,200.00	3,231.00	\$ 245,566.00			\$ -		101%	3,231.00	\$ 245,566.00	\$ (2,366.00)	(31.00)
16	8 inch Water Main	LF	230	\$ 55.00	\$ 12,650.00	103.00	\$ 5,665.00			\$ -		45%	103.00	\$ 5,665.00	\$ 6,965.00	127.00
17	6 inch Water Main	LF	160	\$ 62.00	\$ 9,920.00	172.00	\$ 10,664.00			\$ -		108%	172.00	\$ 10,664.00	\$ (744.00)	(12.00)
18	12 inch Resilient Wedge Gate Valve	EA	3	\$ 4,715.00	\$ 37,720.00	8.00	\$ 37,720.00			\$ -		100%	8.00	\$ 37,720.00	\$ -	-
19	8 inch Resilient Wedge Gate Valve	EA	1	\$ 2,705.00	\$ 2,705.00	1.00	\$ 2,705.00			\$ -		100%	1.00	\$ 2,705.00	\$ -	-
20	6 inch Resilient Wedge Gate Valve	EA	6	\$ 1,975.00	\$ 11,850.00	6.00	\$ 11,850.00			\$ -		100%	6.00	\$ 11,850.00	\$ -	-
21	Hydrant	EA	7	\$ 5,730.00	\$ 40,110.00	7.00	\$ 40,110.00			\$ -		100%	7.00	\$ 40,110.00	\$ -	-
22	6 inch Hydrant Lead Bends	EA	6	\$ 425.00	\$ 2,550.00	6.00	\$ 2,550.00			\$ -		100%	6.00	\$ 2,550.00	\$ -	-
23	Remove Hydrant	EA	1	\$ 580.00	\$ 580.00	1.00	\$ 580.00			\$ -		100%	1.00	\$ 580.00	\$ -	-
24	Remove Valve	EA	2	\$ 175.00	\$ 350.00	2.00	\$ 350.00			\$ -		100%	2.00	\$ 350.00	\$ -	-
25	Slurry or Flowable Fill / Abandon Water Main	LF	1,700	\$ 5.10	\$ 8,670.00	1,700.00	\$ 8,670.00			\$ -		100%	1,700.00	\$ 8,670.00	\$ -	-
26	Tree Removal	AC	1	\$ 8,665.00	\$ 8,665.00	1.00	\$ 8,665.00			\$ -		100%	1.00	\$ 8,665.00	\$ -	-
27	Grubbing	AC	1	\$ 12,235.00	\$ 12,235.00	1.00	\$ 12,235.00			\$ -		100%	1.00	\$ 12,235.00	\$ -	-
CO1.1	Field locate Water Main	LS	1	\$ 5,650.00	\$ 5,650.00	1.00	\$ 5,650.00			\$ -		100%	1.00	\$ 5,650.00	\$ -	-
CO#2 Extend Sanitary Sewer and Water Main to Krawczyk/Detrie Property Line																
CO1.1	Erosion Control (Silt Fence, Ditch Checks, Tracking Pad, E-Mat, Etc.)	LS	1.00	\$ 3,950.00	\$ 3,950.00	1.00	\$ 3,950.00			\$ -		100%	1.00	\$ 3,950.00	\$ -	-
CO1.2	Restoration - Temporary Seed	LS	1.00	\$ 1,850.00	\$ 1,850.00	1.00	\$ 1,850.00			\$ -		100%	1.00	\$ 1,850.00	\$ -	-
CO1.3	8" Sanitary Sewer		641.00	\$ 50.50	\$ 32,370.50	641.00	\$ 32,370.50			\$ -		100%	641.00	\$ 32,370.50	\$ -	-
CO1.4	4 Foot Diameter Sanitary Manhole		41.29	\$ 665.00	\$ 27,457.85	41.29	\$ 27,457.85			\$ -		100%	41.29	\$ 27,457.85	\$ -	-
CO1.5	8 inch Water Main		617.00	\$ 55.00	\$ 33,935.00	617.00	\$ 33,935.00			\$ -		100%	617.00	\$ 33,935.00	\$ -	-
CO1.6	6 inch Water Main		7.00	\$ 62.00	\$ 434.00	7.00	\$ 434.00			\$ -		100%	7.00	\$ 434.00	\$ -	-
CO1.7	8 inch R.W. Gate Valve		1.00	\$ 2,705.00	\$ 2,705.00	1.00	\$ 2,705.00			\$ -		100%	1.00	\$ 2,705.00	\$ -	-
CO1.8	6 inch R.W. Gate Valve		1.00	\$ 1,975.00	\$ 1,975.00	1.00	\$ 1,975.00			\$ -		100%	1.00	\$ 1,975.00	\$ -	-
CO1.9	Hydrant		1.00	\$ 5,730.00	\$ 5,730.00	1.00	\$ 5,730.00			\$ -		100%	1.00	\$ 5,730.00	\$ -	-

P.T.S. Contractors, Inc.
4075 Eaton Road - Green Bay, WI 54311
Phone: (920) 468-5217 Fax: (920) 468-4087

Town of Lawrence
Mid Valley Drive Utility Relocation

Payment Request

Payment Request: **10**
Date: **9/12/2025**
Total Completed **\$2,669,944.54**

Bid Item #	Description	Units	Qty	Scheduled Unit Price	Amount	Previous Request Totals Qty	Amount	This Request Totals Qty	Amount	%	Completed to Date Qty	Amount	Balance to Finish Amount	Finish Qty
CO#8 - Tigerwood Trail Extension														
CO# 1	8 inch Sanitary Sewer	LF	1,816.00	\$ 47.00	\$ 85,352.00	1,789.00	\$ 84,083.00	\$ -		99%	1,789.00	\$ 84,083.00	\$ 1,269.00	27.00
CO# 2	6 inch Sanitary Lateral	LF	307.00	\$ 42.00	\$ 12,894.00	350.00	\$ 14,700.00	\$ -		114%	350.00	\$ 14,700.00	\$ (1,806.00)	(43.00)
CO# 3	6 inch Sanitary Riser	LF	43.00	\$ 55.00	\$ 2,365.00	41.88	\$ 2,303.40	\$ -		97%	41.88	\$ 2,303.40	\$ 61.60	1.12
CO# 4	4 Foot Diameter Sanitary Manhole	VF	97.00	\$ 580.00	\$ 56,260.00	96.83	\$ 56,161.40	\$ -		100%	96.83	\$ 56,161.40	\$ 98.60	0.17
CO# 5	12 inch Water Main	LF	680.00	\$ 80.00	\$ 54,400.00	702.50	\$ 56,200.00	\$ -		103%	702.50	\$ 56,200.00	\$ (1,800.00)	(22.50)
CO# 6	12 inch Resilient Wedge Gate Valve	EA	2.00	\$ 4,720.00	\$ 9,440.00	2.00	\$ 9,440.00	\$ -		100%	2.00	\$ 9,440.00	\$ -	-
CO# 7	8 inch Water Main	LF	70.00	\$ 58.00	\$ 4,060.00		\$ -	\$ -				\$ -	\$ 4,060.00	70.00
CO# 8	8 inch Resilient Wedge Gate Valve	EA	1.00	\$ 2,675.00	\$ 2,675.00		\$ -	\$ -				\$ -	\$ 2,675.00	1.00
CO# 9	8 inch Connection to 12" Watermain	EA	1.00	\$ 2,900.00	\$ 2,900.00	1.00	\$ 2,900.00	\$ -		100%	1.00	\$ 2,900.00	\$ -	-
CO# 10	6 inch Water Main	LF	13.00	\$ 62.00	\$ 806.00	14.50	\$ 899.00	\$ -		112%	14.50	\$ 899.00	\$ (93.00)	(1.50)
CO# 11	6 inch Resilient Wedge Gate Valve	EA	1.00	\$ 1,950.00	\$ 1,950.00	1.00	\$ 1,950.00	\$ -		100%	1.00	\$ 1,950.00	\$ -	-
CO# 12	Hydrant	EA	1.00	\$ 5,645.00	\$ 5,645.00	1.00	\$ 5,645.00	\$ -		100%	1.00	\$ 5,645.00	\$ -	-
CO# 13	Relocate Hydrant and Valve	EA	1.00	\$ 1,260.00	\$ 1,260.00	1.00	\$ 1,260.00	\$ -		100%	1.00	\$ 1,260.00	\$ -	-
CO# 14	24 inch Storm Sewer	LF	342.00	\$ 52.00	\$ 17,784.00	343.00	\$ 17,836.00	\$ -		100%	343.00	\$ 17,836.00	\$ (52.00)	(1.00)
CO# 15	18 inch Storm Sewer	LF	315.00	\$ 43.00	\$ 13,545.00	315.00	\$ 13,545.00	\$ -		100%	315.00	\$ 13,545.00	\$ -	-
CO# 16	15 inch Storm Sewer	LF	126.00	\$ 53.00	\$ 6,678.00	112.00	\$ 5,936.00	\$ -		89%	112.00	\$ 5,936.00	\$ 742.00	14.00
CO# 17	18 inch RCP Culvert	LF	130.00	\$ 47.00	\$ 6,110.00	130.50	\$ 6,133.50	\$ -		100%	130.50	\$ 6,133.50	\$ (23.50)	(0.50)
CO# 18	18 inch RCP Endwall	EA	2.00	\$ 996.00	\$ 1,992.00	2.00	\$ 1,992.00	\$ -		100%	2.00	\$ 1,992.00	\$ -	-
CO# 19	24 inch Endwall	EA	1.00	\$ 600.00	\$ 600.00	1.00	\$ 600.00	\$ -		100%	1.00	\$ 600.00	\$ -	-
CO# 20	Inlet	EA	4.00	\$ 2,540.00	\$ 10,160.00	4.00	\$ 10,160.00	\$ -		100%	4.00	\$ 10,160.00	\$ -	-
CO# 21	Inlet Protection	EA	4.00	\$ 137.00	\$ 548.00	4.00	\$ 548.00	\$ -		100%	4.00	\$ 548.00	\$ -	-
CO# 22	48 inch Diameter Storm Manhole	VF	12.00	\$ 620.00	\$ 7,440.00	11.90	\$ 7,378.00	\$ -		99%	11.90	\$ 7,378.00	\$ 62.00	0.10
CO# 23	60 inch Diameter Storm Manhole	VF	5.32	\$ 965.00	\$ 5,133.80	5.32	\$ 5,133.80	\$ -		100%	5.32	\$ 5,133.80	\$ -	-

PTS Contractors, Inc.
4075 Eaton Road - Green Bay, WI 54311
Phone: (920) 468-8217-Fax: (920) 468-4087

Town of Lawrence
Mid Valley Drive Utility Relocation
Payment Request

Payment Request: 10
Date: 9/12/2025

Payment Request										Total Completed			
Phone#: (920) 468-8217, Fax#: (920) 468-4087										\$2,669,944.54			
Bid Item #	Description	Units	Qty	Scheduled		Previous Request Totals		This Request Totals		Completed to Date		Balance to Finish	
				Unit Price	Amount	Qty	Amount	Qty	Amount	Qty	Amount	Amount	Qty
CO3.24	Roadway Excavation (Estimated 2000 C.Y.)	LS	1.00	\$ 23,365.00	\$ 23,365.00	1.00	\$ 23,365.00			\$ 23,365.00	\$ -	-	
CO3.25	2'-1/2 Inch Asphaltic Pavement, Lower Layer (3 LT 59-285)	TON	366.00	\$ 86.00	\$ 31,476.00	397.85	\$ 34,215.10			\$ 34,215.10	\$ (2,739.10)	(31.85)	
CO3.26	Density Testing	EA	2.00	\$ 153.00	\$ 306.00		-			\$ -	\$ 306.00	2.00	
CO3.27	Base Aggregate Dense 1-1/4 Inch (4525 S.Y.)	TON	2,058.00	\$ 15.30	\$ 31,487.40	1,577.96	\$ 24,142.79			\$ 24,142.79	\$ 7,344.61	480.04	
CO3.28	Base Aggregate Dense 3 Inch (3700 S.Y.)	TON	1,850.00	\$ 15.30	\$ 28,305.00	2,034.46	\$ 31,127.24			\$ 31,127.24	\$ (2,822.24)	(184.46)	
CO3.29	Excavation Below Subgrade (EBS) and Replacement with Breaker Run	CY	491.00	\$ 36.70	\$ 18,019.70	18.88	\$ 692.90			\$ 692.90	\$ 17,326.80	472.12	
CO3.30	Concrete Curb and Gutter 30 Inch	LF	1,108.00	\$ 17.75	\$ 19,687.00	1,032.00	\$ 18,318.00			\$ 18,318.00	\$ 1,349.00	76.00	
CO3.31	Clearing & Grubbing	ACRE	0.6000	\$ 12,750.00	\$ 7,650.00	0.6000	\$ 7,650.00			\$ 7,650.00	\$ -	-	
CO3.32	Ditch Checks	EA	40.00	\$ 255.00	\$ 10,200.00		-			\$ -	\$ 10,200.00	40.00	
CO3.33	E-Mat Class I Type B (Estimated 3500 S.Y.)	LS	1.00	\$ 6,425.00	\$ 6,425.00	1.00	\$ 6,425.00			\$ 6,425.00	\$ -	-	
CO3.34	Temporary Ditch Grading	LF	1,228.00	\$ 5.60	\$ 6,876.80	1,228.00	\$ 6,876.80			\$ 6,876.80	\$ -	-	
CO3.35	Permanent Ditch Grading	LF	2,226.00	\$ 7.80	\$ 17,362.80	2,226.00	\$ 17,362.80			\$ 17,362.80	\$ -	-	
CO3.36	Terrace Restoration (Topsoil, Seed, Fertilizer, Mulch) in Right-of-Way (Estimated 2,400 S.Y.)	LS	1.00	\$ 2,566.50	\$ 2,566.50	1.00	\$ 2,566.50			\$ 2,566.50	\$ -	-	
CO3.37	Grading and Restoration (12 Feet Beyond Right-of-Way) for Utility Easement (Temporary Seed, Fertilizer and Mulch)	LS	1.00	\$ 8,140.00	\$ 8,140.00	1.00	\$ 8,140.00			\$ 8,140.00	\$ -	-	
CO3.38	Medium Rip Rap (with Type HR Fabric)	CY	55.00	\$ 73.00	\$ 4,015.00	66.50	\$ 4,854.50			\$ 4,854.50	\$ (839.50)	(11.50)	
CO3.39	Tracking Pad	EA	2.00	\$ 1,070.00	\$ 2,140.00		-			\$ -	\$ 2,140.00	2.00	

PTS Contractors, Inc.
4075 Eaton Road - Green Bay, WI 54311
Phone: (920) 488-5217 Fax: (920) 488-4087

Town of Lawrence
Mid Valley Drive Utility Relocation

Payment Request: 10
Date: 9/12/2025

Payment Request										Total Completed					
Bid	Description		Units	Qty	Scheduled Unit Price	Amount	Previous Request Totals		This Request Totals		%	Completed to Date		Balance to Finish	
Item #							Qty	Amount	Qty	Amount		Qty	Amount	Amount	Qty
CO4 - Torchwood Trail Extension															
CO4.1	8	inch Sanitary Sewer	LF	1,727.00	\$ 46.00	\$ 79,442.00	1,727.00	\$ 79,442.00		\$ -	100%	1,727.00	\$ 79,442.00	\$ -	-
CO4.2	4	inch Sanitary Laterals	LF	1,045.00	\$ 32.00	\$ 33,440.00	1,076.50	\$ 34,448.00		\$ -	103%	1,076.50	\$ 34,448.00	\$ (1,008.00)	(31.50)
CO4.3	4	Foot Diameter Sanitary Manhole	VF	59.00	\$ 575.00	\$ 33,925.00	59.28	\$ 34,086.00		\$ -	100%	59.28	\$ 34,086.00	\$ (161.00)	(0.28)
CO4.4	8	inch Water Main	LF	1,800.00	\$ 48.00	\$ 86,400.00	1,796.50	\$ 86,232.00		\$ -	100%	1,796.50	\$ 86,232.00	\$ 168.00	3.50
CO4.5	8	inch Resilient Wedge Gate Valve	EA	4.00	\$ 2,675.00	\$ 10,700.00	4.00	\$ 10,700.00		\$ -	100%	4.00	\$ 10,700.00	\$ -	-
CO4.6	6	inch Water Main	LF	30.00	\$ 56.00	\$ 1,680.00	31.75	\$ 1,778.00		\$ -	106%	31.75	\$ 1,778.00	\$ (98.00)	(1.75)
CO4.7	6	inch Resilient Wedge Gate Valve	EA	4.00	\$ 1,945.00	\$ 7,780.00	3.00	\$ 5,835.00		\$ -	75%	3.00	\$ 5,835.00	\$ 1,945.00	1.00
CO4.8	Hydrant		EA	4.00	\$ 5,640.00	\$ 22,560.00	4.00	\$ 22,560.00		\$ -	100%	4.00	\$ 22,560.00	\$ -	-
CO4.9	1	inch Poly Water Service	LF	901.00	\$ 26.00	\$ 23,426.00	874.50	\$ 22,737.00		\$ -	97%	874.50	\$ 22,737.00	\$ 689.00	26.50
CO4.10	1	inch Water Service Set	EA	23.00	\$ 529.00	\$ 12,167.00	22.00	\$ 11,638.00		\$ -	96%	22.00	\$ 11,638.00	\$ 529.00	1.00
CO4.11	48	inch Storm Sewer	LF	519.00	\$ 127.00	\$ 65,913.00	519.00	\$ 65,913.00		\$ -	100%	519.00	\$ 65,913.00	\$ -	-
CO4.12	36	inch Storm Sewer	LF	325.00	\$ 84.00	\$ 27,300.00	322.00	\$ 27,048.00		\$ -	99%	322.00	\$ 27,048.00	\$ 252.00	3.00
CO4.13	30	inch Storm Sewer	LF	1,170.00	\$ 71.00	\$ 83,070.00	1,165.00	\$ 83,993.00		\$ -	101%	1,165.00	\$ 83,993.00	\$ (923.00)	(13.00)
CO4.14	24	inch Storm Sewer	LF	681.00	\$ 57.00	\$ 38,817.00	679.00	\$ 38,705.00	60.00	\$ 3,420.00	109%	739.00	\$ 42,123.00	\$ (3,306.00)	(58.00)
CO4.15	18	inch Storm Sewer	LF	221.00	\$ 50.00	\$ 11,050.00	222.00	\$ 11,100.00		\$ -	100%	222.00	\$ 11,100.00	\$ (50.00)	(1.00)
CO4.16	15	inch Storm Sewer	LF	463.00	\$ 40.00	\$ 18,520.00	477.00	\$ 19,080.00		\$ -	103%	477.00	\$ 19,080.00	\$ (560.00)	(14.00)
CO4.17	12	inch Storm Sewer	LF	187.00	\$ 50.00	\$ 9,350.00	182.50	\$ 9,125.00		\$ -	98%	182.50	\$ 9,125.00	\$ 225.00	4.50
CO4.18	24	inch Endwall	EA	1.00	\$ 398.00	\$ 398.00	1.00	\$ 398.00		\$ -	100%	1.00	\$ 398.00	\$ -	-
CO4.19	Inlet		EA	10.00	\$ 2,425.00	\$ 24,250.00	9.00	\$ 21,825.00	2.00	\$ 4,850.00	110%	11.00	\$ 26,675.00	\$ (2,425.00)	(1.00)
CO4.20	Inlet Protection Type A		EA	18.00	\$ 136.00	\$ 2,448.00	18.00	\$ 2,484.00		\$ -	100%	18.00	\$ 2,484.00	\$ -	-
CO4.21	4	inch Storm Lateral	LF	1,198.00	\$ 26.00	\$ 34,742.00	1,195.00	\$ 34,655.00		\$ -	100%	1,195.00	\$ 34,655.00	\$ 87.00	3.00
CO4.22	48	inch Diameter Storm Manholes	VF	60.00	\$ 628.00	\$ 37,560.00	41.91	\$ 26,235.66		\$ -	70%	41.91	\$ 26,235.66	\$ 11,324.34	18.09
CO4.23	60	inch Diameter Storm Manholes	VF	7.00	\$ 866.00	\$ 6,062.00	26.45	\$ 22,958.60		\$ -	378%	26.45	\$ 22,958.60	\$ (16,862.60)	(19.45)
CO4.24	72	inch Diameter Storm Manholes	VF	28.00	\$ 1,120.00	\$ 31,360.00	14.97	\$ 16,766.40		\$ -	53%	14.97	\$ 16,766.40	\$ 14,593.60	13.03
CO4.25	84	inch Diameter Storm Manholes	VF	10.00	\$ 1,175.00	\$ 11,750.00	30.27	\$ 35,567.25		\$ -	303%	30.27	\$ 35,567.25	\$ (23,817.25)	(20.27)
CO4.26	Yard Drain		EA	4.00	\$ 2,495.00	\$ 9,980.00	2.00	\$ 4,990.00		\$ -	50%	2.00	\$ 4,990.00	\$ 4,990.00	2.00

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Phone: (920) 468-5217 Fax: (920) 468-4087

Town of Lawrence
Mid Valley Drive Utility Relocation
Payment Request

Payment Request: **10**
Date: 9/12/2025

Bid			Scheduled			Previous Request Totals			This Request Totals			%	Completed to Date		Balance to Finish	
Item #	Description	Units	Qty	Unit Price	Amount	Qty	Amount	Amount	Qty	Amount	Amount		Qty	Amount	Amount	Qty
CO4.27	Roadway Excavation (Estimated 5000 C.Y.)	LS	1.00	\$ 95,790.00	\$ 95,790.00	1.00	\$ 95,790.00			\$ -		100%	1.00	\$ 95,790.00	\$ -	-
CO4.28	2-1/2 Inch Asphaltic Pavement, Lower Layer (3 LT 59-28S)	TON	922.00	\$ 83.00	\$ 76,526.00		\$ -		759.46	✓ \$ 63,035.18		82%	759.46	\$ 63,035.18	\$ 13,490.82	162.54
CO4.29	Density Testing	EA	6.00	\$ 152.00	\$ 912.00		\$ -			\$ -				\$ -	\$ 912.00	6.00
CO4.30	Base Aggregate Dense 1-1/4 Inch	TON	2,235.00	\$ 15.30	\$ 34,195.50	2,637.35	\$ 40,351.46		20.98	✓ \$ 320.99		119%	2,658.33	\$ 40,672.45	\$ (6,476.95)	(423.33)
CO4.31	Base Aggregate Dense 3 Inch	TON	3,352.00	\$ 15.30	\$ 51,285.60	4,162.47	\$ 63,685.79			\$ -		124%	4,162.47	\$ 63,685.79	\$ (12,400.19)	(810.47)
CO4.32	Excavation Below Subgrade (EBS)	CY	1,250.00	\$ 35.00	\$ 43,750.00	360.00	\$ 12,600.00			\$ -		29%	360.00	\$ 12,600.00	\$ 31,150.00	890.00
CO4.33	Concrete Curb and Gutter 30 Inch	LF	3,752.00	\$ 17.70	\$ 66,410.40	3,740.00	\$ 66,198.00			\$ -		100%	3,740.00	\$ 66,198.00	\$ 212.40	12.00
CO4.34	Silt Fence	LF	1,800.00	\$ 2.10	\$ 3,780.00	1,723.00	\$ 3,618.30			\$ -		96%	1,723.00	\$ 3,618.30	\$ 161.70	77.00
CO4.35	Clearing and Grubbing	AC	0.0300	\$ 12,735.00	\$ 382.05	0.0300	\$ 382.05			\$ -		100%	0.0300	\$ 382.05	\$ -	-
CO4.36	Ditch Checks	EA	2.00	\$ 255.00	\$ 510.00		\$ -			\$ -				\$ -	\$ 510.00	2.00
CO4.37	E-Mat Class I Type B (Estimated at 35 S.Y.)	LS	1.00	\$ 89.00	\$ 89.00		\$ -			\$ -				\$ -	\$ 89.00	1.00
CO4.38	Terrace Restoration (Topsoil, Seed, Fertilizer, Mulch) in Right-of-Way (Estimated 8200 S.Y.)	LS	1.00	\$ 25,872.85	\$ 25,872.85		\$ -		0.55	✓ \$ 14,230.07		55%	0.55	\$ 14,230.07	\$ 11,642.78	0.45
CO4.39	Grading and Restoration (12 Feet Beyond Right-of-Way) for Utility Easement (Temporary Seed, Fertilizer and Mulch)	LS	1.00	\$ 12,655.00	\$ 12,655.00		\$ -		0.65	✓ \$ 8,225.75		65%	0.65	\$ 8,225.75	\$ 4,429.25	0.35
CO4.40	Grading and Restoration of Primary Drainage Swales	LF	937.00	\$ 10.80	\$ 10,119.60	300.00	\$ 3,240.00		402.75	✓ \$ 4,349.70		75%	702.75	\$ 7,589.70	\$ 2,529.90	234.25
CO4.44	Internal Lot Restoration with Alaska Mix	AC	22.00	\$ 611.09	\$ 13,442.00		\$ -			\$ -				\$ -	\$ 13,442.00	22.00
CO4.42	Tracking Pad	EA	2.00	\$ 1,070.00	\$ 2,140.00		\$ -			\$ -				\$ -	\$ 2,140.00	2.00

Town of Lawrence
Mid Valley Drive Utility Relocation

Payment Request: 10
Date: 9/12/2025

[illegible]



Agenda Item Review

Meeting Date: 9/22/2025

Agenda Item#: 11

TOWN OF LAWRENCE BOARD MEETING STAFF REPORT

REPORT TO: Dr. Lanny Tibaldo, Town Board Chairman, Town Board
REPORT FROM: Patrick Wetzel, Town Administrator
AGENDA ITEM: Pay Request #3 – 2025 Town Road Improvement Project – MCC, Inc - \$1,635.43

FISCAL IMPACT:

1. Is there A Fiscal Impact? Yes
2. Is it Currently Budgeted? Yes

Item History: MCC, Inc. have completed shouldering work on Woodhaven Circle in the 2025 Town Road Improvement Project bids and have submitted their third pay request of \$1,635.43.

Town staff has reviewed all documents and has approved moving forward with this payment.

Recommended Action: Recommend approval of Pay Request #3 – 2025 Town Road Improvement Project for MCC, Inc., in the amount of \$1,635.43

APPLICATION FOR PAYMENT

Owner: Town of Lawrence
2400 Shady Court
De Pere, WI 54115

Project: 2025 Town Road Improvement Project
Contractor: MCC, Inc.
Date: 9/18/25

Application is made for Payment in Connection with the above Contract:

The following documents are attached:

- ☒ Schedule of Values
- ☒ Schedule of Unit Prices
- ☐ Inventory of Stored Materials

The present status of the account for this contract is as follows:

Original Contract	<u>\$349,194.25</u>	Completed to date	<u>\$369,958.32</u>
Net Change Orders	<u>—</u>	Retainage 10%	<u>\$ 36,995.85</u>
Current Contract Amount	<u>\$349,194.25</u>	Amount Due	<u>\$ 1,635.43</u>
		Total Payment	<u>\$ 38,631.28</u>

MCC, Inc.
Contractor

Joyce A. Murphy Stearns
Name and Title Vice President



P.O. Box 1137
 Appleton, WI 54912-1137
 Phone: 920-749-3360
 Fax: 920-749-3384

Invoice #: 61014

Date: 09/17/25

Application #: 3

Customer Reference: Lawrence 2025 Road Improvement

Invoice Due Date: 11/16/25

Payment Terms: NET 60 DAYS

To: TOWN OF LAWRENCE
 2400 SHADY COURT
 DEPERE, WI 54115

Contract: 3667LB. Lawrence - 2025 Road Improvement Project - **VARIOUS STREETS (PAVE & SHOULDER)**

Cont Item	Description	Contract Amount	Contract Quantity	Quantity This Period	Quantity JTD	U/M	Unit Price	Amount This Period	Amount To-Date	% Compl
1	Milo Road. Pulverize Existing	1,567.50	2,850.00	0.00	2,850.00	SY	0.55000	0.00	1,567.50	100.00%
2	Milo Road. 2" 3 LT 58-28 S Lower Layer	27,230.00	350.00	0.00	350.00	TON	77.80000	0.00	27,230.00	100.00%
3	Milo Road. 1.5" 5 LT 58-28 S Upper Layer	18,762.50	250.00	0.00	250.00	TON	75.05000	0.00	18,762.50	100.00%
4	Milo Road. Tack	675.00	150.00	0.00	150.00	GAL	4.50000	0.00	675.00	100.00%
5	Milo Road. 2" 5 LT 58-28 S Driveways, Includes Concrete & As	5,500.00	50.00	0.00	50.00	TON	110.00000	0.00	5,500.00	100.00%
6	Milo Road. 2' Gravel Shoulder	2,538.00	120.00	0.00	120.00	TON	21.15000	0.00	2,538.00	100.00%
7	Milo Road. Traffic Control	305.00	1.00	0.00	1.00	LSB	305.00000	0.00	305.00	100.00%
8	Milo Road. Mobilization	950.00	1.00	0.00	1.00	LSB	950.00000	0.00	950.00	100.00%
9	Pennway Park. Pulverize Existing	1,787.50	3,250.00	0.00	3,250.00	SY	0.55000	0.00	1,787.50	100.00%
10	Pennway Park. 2" 3 LT 58-28 S Lower Layer	31,120.00	400.00	0.00	400.00	TON	77.80000	0.00	31,120.00	100.00%
11	Pennway Park. 1.5" 5 LT 58-28 S Upper Layer	22,515.00	300.00	0.00	300.00	TON	75.05000	0.00	22,515.00	100.00%
12	Pennway Park. Tack	900.00	200.00	0.00	200.00	GAL	4.50000	0.00	900.00	100.00%
13	Pennway Park. 2" 5 LT 58-28 S Driveways, Includes Asphalt Sa	7,700.00	70.00	0.00	70.00	TON	110.00000	0.00	7,700.00	100.00%
14	Pennway Park. 2' Wide Gravel Shoulder	3,172.50	150.00	0.00	150.00	TON	21.15000	0.00	3,172.50	100.00%
15	Pennway Park. Traffic Control	305.00	1.00	0.00	1.00	LSB	305.00000	0.00	305.00	100.00%
16	Pennway Park. Mobilization	950.00	1.00	0.00	1.00	LSB	950.00000	0.00	950.00	100.00%
17	Bain Court. Pulverize Existing	990.00	1,800.00	0.00	1,800.00	SY	0.55000	0.00	990.00	100.00%
18	Bain Court. 2" 3 LT 58-28 S Lower Layer	17,116.00	220.00	0.00	220.00	TON	77.80000	0.00	17,116.00	100.00%
19	Bain Court. 1.5" 5 LT 58-28 S Upper Layer	13,509.00	180.00	0.00	180.00	TON	75.05000	0.00	13,509.00	100.00%
20	Bain Court. Tack	405.00	90.00	0.00	90.00	GAL	4.50000	0.00	405.00	100.00%
21	Bain Court. 2" 5 LT 58-28 S Driveways, Includes Concrete & A	5,500.00	50.00	0.00	50.00	TON	110.00000	0.00	5,500.00	100.00%
22	Bain Court. 2' Wide Gravel Shoulder	2,115.00	100.00	0.00	100.00	TON	21.15000	0.00	2,115.00	100.00%
23	Bain Court. Traffic Control	305.00	1.00	0.00	1.00	LSB	305.00000	0.00	305.00	100.00%
24	Bain Court. Mobilization	950.00	1.00	0.00	1.00	LSB	950.00000	0.00	950.00	100.00%
25	Woodhaven Court. Pulverize Existing	1,925.00	3,500.00	0.00	3,500.00	SY	0.55000	0.00	1,925.00	100.00%
26	Woodhaven Court. 2" 3 LT 58-28 S Lower Layer	34,830.00	450.00	0.00	450.00	TON	77.40000	0.00	34,830.00	100.00%
27	Woodhaven Court. 1.5" 5 LT 58-28 S Upper Layer	24,391.25	325.00	0.00	325.00	TON	75.05000	0.00	24,391.25	100.00%



P.O. Box 1137
 Appleton, WI 54912-1137
 Phone: 920-749-3360
 Fax: 920-749-3384

Invoice #: 61014

Date: 09/17/25

Application #: 3

Customer Reference: Lawrence 2025 Road Improvement

Invoice Due Date: 11/16/25

Payment Terms: NET 60 DAYS

To: TOWN OF LAWRENCE
 2400 SHADY COURT
 DEPERE, WI 54115

Contract: 3667LB. Lawrence - 2025 Road Improvement Project

Cont Item	Description	Contract Amount	Contract Quantity	Quantity This Period	Quantity JTD	U/M	Unit Price	Amount This Period	Amount To-Date	% Compl
28	Woodhaven Court. Tack	900.00	200.00	0.00	200.00	GAL	4.50000	0.00	900.00	100.00%
29	Woodhaven Court. 2" 5 LT 58-28 S Driveways, Includes Concret	3,300.00	30.00	0.00	30.00	TON	110.00000	0.00	3,300.00	100.00%
30	Woodhaven Court. 2' Wide Gravel Shoulder	3,172.50	150.00	0.00	150.00	TON	21.15000	0.00	3,172.50	100.00%
31	Woodhaven Court. Traffic Control	355.00	1.00	0.00	1.00	LSB	355.00000	0.00	355.00	100.00%
32	Woodhaven Court. Mobilization	950.00	1.00	0.00	1.00	LSB	950.00000	0.00	950.00	100.00%
33	Midvalley Drive	27,160.00	19,400.00	0.00	19,400.00	LF	1.40000	0.00	27,160.00	100.00%
34	French Road	18,200.00	13,000.00	0.00	13,000.00	LF	1.40000	0.00	18,200.00	100.00%
35	Woodhaven Circle. Pulverize Existing	1,815.00	3,300.00	0.00	3,760.00	SY	0.55000	0.00	2,068.00	113.94%
36	Woodhaven Circle. 2" 3 LT 58-28 S Lower Layer	31,180.00	400.00	0.00	538.31	TON	77.95000	0.00	41,961.26	134.58%
37	Woodhaven Circle. 1.5" 5 LT 58-28 S Upper Layer	22,515.00	300.00	0.00	400.00	TON	75.05000	0.00	30,020.00	133.33%
38	Woodhaven Circle. Tack	810.00	180.00	0.00	207.00	GAL	4.50000	0.00	931.50	115.00%
39	Woodhaven Circle. 2" 5 LT 58-28 S Driveways, Includes Concre	6,600.00	60.00	0.00	60.00	TON	110.00000	0.00	6,600.00	100.00%
40	Woodhaven Circle. 2' Wide Gravel Shoulder	3,172.50	150.00	41.00	204.53	TON	21.15000	867.15	4,325.81	136.35%
41	Woodhaven Circle. Traffic Control	100.00	1.00	0.00	1.00	LSB	100.00000	0.00	100.00	100.00%
42	Woodhaven Circle. Mobilization	950.00	1.00	1.00	2.00	LSB	950.00000	950.00	1,900.00	200.00%

VARIOUS STREETS (PAVE & SHOULDER)

Total Billed To Date: 369,958.32
 Less Retainage: 36,995.85
 Less Previous Applications: 331,327.04

Total Due This Invoice: 1,635.43



Agenda Item Review

Meeting Date: September 22, 2025
Agenda Item#: 12

TOWN OF LAWRENCE BOARD MEETING STAFF REPORT

REPORT TO: Dr. Lanny Tibaldo, Town Board Chairman, Town Board
REPORT FROM: Patrick Wetzol, Town Administrator
AGENDA ITEM: **Update on Sand Acres Drive Reconstruction Planning**

FISCAL IMPACT:

- | | |
|------------------------------|-----------------------------------|
| 1. Is there A Fiscal Impact? | <u>Yes, in future</u> |
| 2. Is it Currently Budgeted? | Not yet, still in planning phases |

Item History

We will reserve time at the Town Board meeting for updates and discussion on the Sand Acres Drive Reconstruction planning.

A public info meeting is scheduled for 4:30p-5:30p on Monday Sept 22nd at the Town Hall. This will be held prior to the Town Board meeting. Any feedback we receive will be shared with the Town Board.

We're also gearing up to draft and submit a grant application for the project to be considered with the upcoming grant funding cycle through WisDOT Local Roads Improvement Program (LRIP/TRIP).

Recommended Action By Town Board

Will discuss progress on planning for design, community feedback and grant application.



Agenda Item Review

Meeting Date: September 22, 2025
Agenda Item#: 13

TOWN OF LAWRENCE BOARD MEETING STAFF REPORT

REPORT TO: Dr. Lanny Tibaldo, Town Board Chairman, Town Board
REPORT FROM: Patrick Wetzel, Town Administrator
AGENDA ITEM: Discussion on Upcoming Personnel/Benefits Changes for 2026

FISCAL IMPACT:

1. Is there A Fiscal Impact? Yes
2. Is it Currently Budgeted? Yes, it would be included in future budgets

Item History

Town staff and consultants are regularly reviewing current benefit programs and anticipated costs. We anticipate minimal changes to our programs for 2026.

Health insurance rates for our plans are increasing just under 3% for 2026, which is good news that we anticipated when we made the program changes a few years ago.

We'll anticipate more discussion in October as appropriate on different programs. In recent years we've expanded more of our benefits through State of Wisconsin programs.

We'll plan to discuss at the meeting and aim at a more detailed discussion on any other programs and potential adjustments in October, if needed.

Recommended Action By Town Board

Will discuss current or upcoming program info and/or adjustments.